

**Sec. 27-206. Channel District bonus methodology and calculation; list of bonus amenities.**

*Compliance.* All developments that seek density/intensity bonuses within the Channel District shall adhere to the regulations set forth in section 27-140. Unless otherwise permitted by this chapter, developments that have been granted bonuses by city council, per the provisions of this section, shall not be granted any further administrative increase in floor area, unit count, or building height through section 27-138 substantial change.  
(Ord. No. 2016-58, § 7, 4-21-2016)

**Secs. 27-207—27-210. Reserved.**

*Subdivision 5. Seminole Heights (SH) District*

**Sec. 27-211. The Greater Seminole Heights Vision; establishment of district boundaries.**

(a) *Description of area.* The established boundaries of the district are as follows:

From the centerline of the Hillsborough River, beginning at Dr. Martin Luther King, Jr. Blvd, running north and east to the centerline of 22nd Street; thence running south to the centerline of Hillsborough Avenue; thence running west to the centerline of 15th Street; thence running south to the centerline of Dr. Martin Luther King, Jr. Blvd; thence running west to the centerline of the Hillsborough River, to the point of beginning.

(b) *Purpose.* The purpose and intent of this article is to ensure that all development is compatible in form, building and structural orientation, general site layout, height, lot dimensional requirements and other site spatial relationships to the precedent within the established block and generally, the surrounding area.

Furthermore, it is the purpose and intent of the Tampa Comprehensive Plan, and of this article, which aids in implementing it, to promote the public health, safety, comfort, amenities, prosperity, and general welfare of the city; and to provide, among other matters, a wholesome, serviceable, and attractive community; to help foster a more favorable environment in which to live, work, and play; to ensure that there is a seamless integration between private property and the public realm; to regulate the use, construction and maintenance of the public realm (including but not limited to streets, alleys, sidewalks, street lights); to regulate the use and development of land; to provide regulations, which allow and encourage creativity, effectiveness, and flexibility in the design and use of land while promoting traffic safety and avoiding an environment that encourages visual blight; to protect trees, wetlands, and natural resources by regulating the trimming or removing of trees, site clearing, landscaping, tree planting, and irrigation in the district.

(c) *Compliance.* All requests for zoning changes, new development, new construction, major renovation, change of use, and increase in intensity of use shall be required to comply with the applicable development standards set forth in this article. In cases of conflict, the standards set forth in this article shall apply. For those development issues not addressed in this article, the underlying requirements of Chapter 27 Zoning (such as Article IV, Division 1, Article VI, Divisions 2 and 3) and other applicable land development regulations of the Tampa City Code shall apply.

(d) *Vision Map.* The future land use pattern and growth of the district is guided by the Vision Map and the Future Land Use Map, as set forth

and described in the Greater Seminole Heights Vision Plan and the Tampa Comprehensive Plan respectively.

(e) *Nodes.* The district contains two (2) types of nodes: Neighborhood Scale ( $\frac{1}{4}$  mile) and Community Scale ( $\frac{1}{2}$  mile). Each node represents an area of potential redevelopment with density and/or intensity increase(s), as set forth in the Tampa Comprehensive Plan and Greater Seminole Heights Vision Plan. The potential increase in density/intensity is subject to the list of bonus amenities and bonus methodology and calculation set forth in section 27-140.

(f) *Connectivity Map.* The Connectivity Map, known as "Map SH-25.3," hereby establishes the priority pedestrian and bicycle corridors for the district. Any funds, including capital expenditures and inlieu fees that are slated for corridor improvements related to pedestrian and bicycle enhancements, shall be targeted to the corridors identified on this map. Once all identified corridors are enhanced, other corridors may receive funding for similar enhancements. This map may be amended from time to time to address changing needs of the district.

(g) *Public realm.* Integration of the public and private realm is imperative in creating and sustaining a livable place. The street cross sections contained in this Overlay District set forth the basic, minimum standard for widths and locations of sidewalks, bicycle lanes, on street parking, travel lanes, and tree plantings within the public realm.

(Ord. No. 2016-58, § 8, 4-21-2016)

### **Sec. 27-211.1. General administrative procedures.**

(a) Determination of uses not listed shall be reviewed according to the provisions of section 27-59.

(b) For those development issues not addressed in this article, the underlying requirements of this chapter (such as Article IV, Division 1, Article VI, Divisions 2 and 3) and other applicable land development regulations of the Tampa City Code shall apply.

(c) Alternative design exceptions to the standards set forth in the article may be considered by the zoning administrator, subject to section 27-60.

(d) Any person aggrieved by any order, requirement, decision, or determination of the zoning administrator with regard to these design standards may request review of that order, requirement, decision, or determination in accordance with section 27-61.

(e) Plan review shall be performed consistent with the applicable plan review procedure, construction plan review, alternative design exception, and/or concurrency.

(Ord. No. 2018-117, § 1(Exh. A), 8-2-2018)

**Sec. 27-211.2. Establishment of the Regulating Map; establishment of sub-districts and associated general land development regulations by sub-district and development form.**

(a) The Regulating Map derives its zoning and development authority through section 27-23. The base layer of the Regulating Map is the Zoning Atlas. Each additional layer represents a regulatory mechanism that directly relates to development layout, building form and/or design character, geographical location, and relationships of these development characteristics to the public realm. The Regulating Map shall be kept on file with the zoning administrator. The layers of the Regulating Map are as follows:

- (1) *Map SH-25.1*: Residential Building Form.
- (2) *Map SH-25.2*: Frontage Types.
- (3) *Map SH-25.3*: Public Realm/Connectivity Map.

(b) *Sub-districts*. The following SH (Seminole Heights) sub-districts shall be the only zoning districts permitted within the Greater Seminole Heights District:

- (1) *SH-RS*: Single-family detached residential (refer to section 27-211.2.1).
- (2) *SH-RS-A*: Single-family attached residential (refer to section 27-211.2.2).

(3) *SH-RM*: Multi-family residential (refer to section 27-211.2.3).

(4) *SH-RO*: Residential office (refer to section 27-211.2.4).

(5) *SH-CN*: Commercial neighborhood (refer to section 27-211.2.5).

(6) *SH-CG*: Mixed use, commercial general (refer to section 27-211.2.6).

(7) *SH-CI*: Mixed use, commercial intensive (refer to section 27-211.2.7).

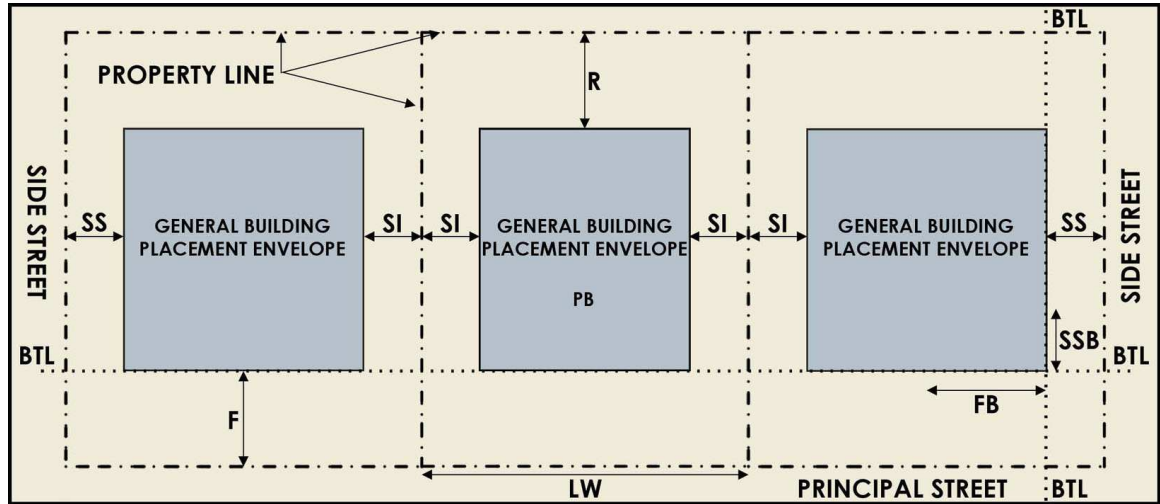
(8) *SH-PD*: Planned development (refer to Article III, Division 3 for site plan zoning district requirements and procedures).

(c) Permitted uses are organized and listed by zoning district in Table SH-25.1

(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011; Ord. No. 2018-117, § 1(Exh. A), 8-2-2018)

**Sec. 27-211.2.1. General District Development Standards for Seminole Heights - Residential Single-family detached (SH-RS) district.**

(a) Building placement, form and layout standards: all development shall comply with development standards set forth below: **Graphic 211.2.1a**

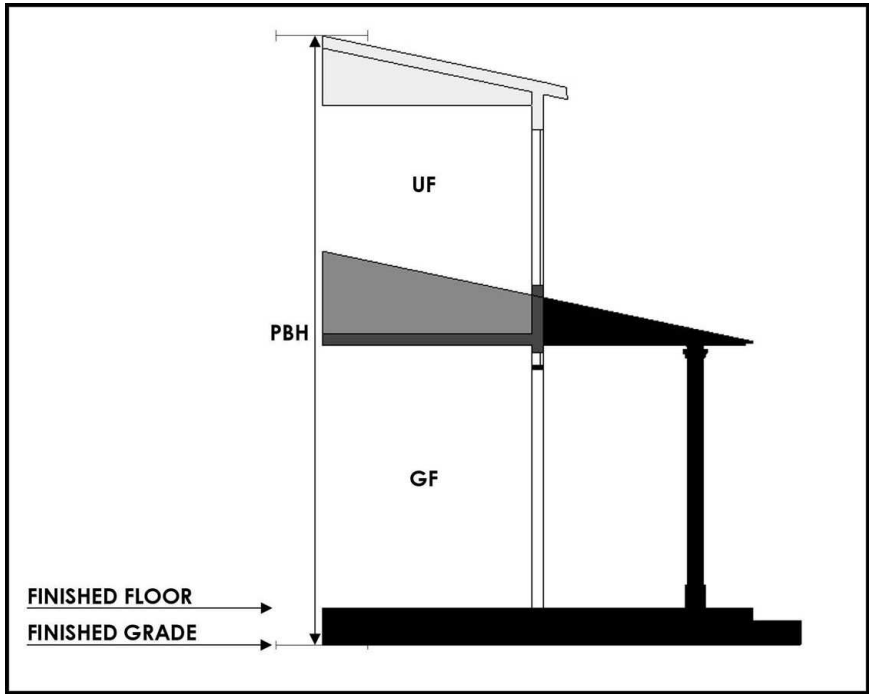


KEY (SH-RS): Table 211.2.1a				
See also Sec. 27-43 Definitions	<b>PB:</b> Principal building	<b>F:</b> Front	<b>FB:</b> Front Building Form	<b>LW:</b> Lot Width
	<b>AB:</b> Accessory building	<b>SS:</b> Side (street)	<b>SSB:</b> Side (street) Building Form	<b>SF:</b> Square Feet
	<b>BTL:</b> Build-to-line	<b>SI:</b> Side (Interior)		<b>min:</b> minimum
		<b>R:</b> Rear		

Building Placement (PB) [8]		Building Placement (AB) [7,8]	
<b>BTL [1]</b>		<b>Setback [3]</b>	
F	[5]	F	60'
SS	[2, 5]	SS	3'
<b>Setback [2, 3]</b>		<b>Setback [3]</b>	
SI	7' [6]	SI	3'
R	20'	R	3'
<b>Building Form</b>		<b>Building Form</b>	
FB	Refer to Map SH-25.1	FB	Adhere to Principal Building Form
SSB	Refer to Sec. 27-211.7	SSB	Adhere to Principal Building Form
<b>Lot Configuration [4]</b>			
Lot Width		50' min	
Lot Area		5000 SF min	

- Notes:
- [1] Build-to-line: required line/location at which the building wall shall be placed.
  - [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at 3 feet minimum setback.
  - [3] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
  - [4] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
  - [5] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
  - [6] Reduction to 3' minimum permitted for porte cochere/carport. For substandard (less than 50' width) lots of record, SI setback shall be 5' minimum.
  - [7] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-54, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
  - [8] PB and AB building separation shall be a minimum of 5' as measured from wall to wall (building) and 3' eave to eave.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 211.2.1b** Depicts an example 1-story and 2-story residential single-family detached cross section.

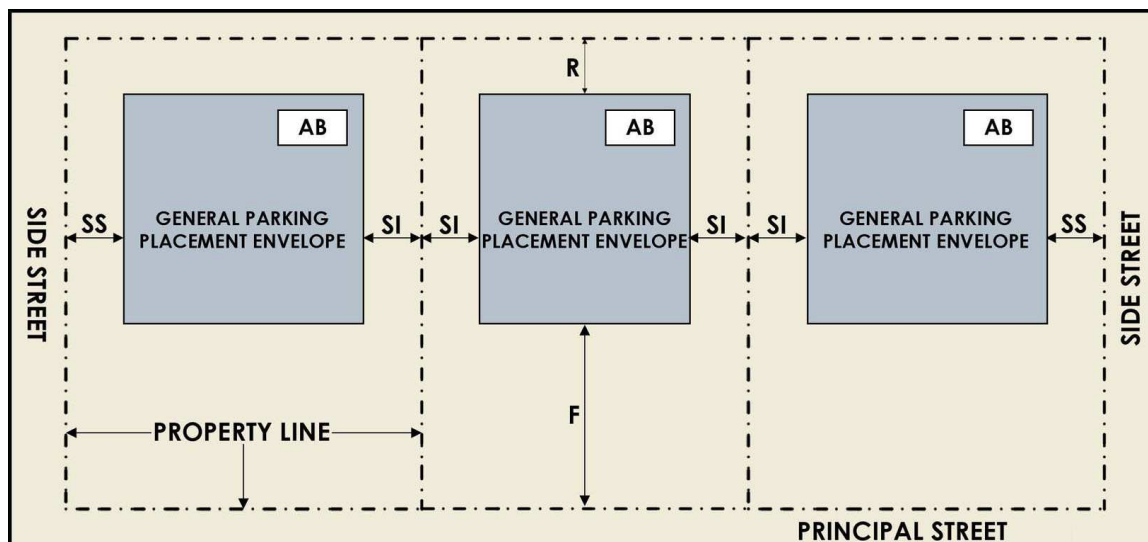


KEY (SH-RS): Table 211.2.1b		
See also Sec. 27-43 Definitions	<b>GF:</b> Ground Floor <b>UF:</b> Upper Floor <b>PBH:</b> Principal building height <b>ABH:</b> Accessory building height	<b>AB:</b> Accessory building <b>SF:</b> Square feet <b>PW:</b> Parapet wall <b>UFA:</b> Usable floor area <b>GFA:</b> Gross floor area <b>min:</b> minimum

Use Placement	
GF	Residential (when permitted: non-residential)
UF	Residential (when permitted: non-residential)
Maximum Height [1]	
PBH	2-stories (35 feet)
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
(a) Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-211.7 for Residential Building Form Standards.	
(b) AB: Maximum GFA = 15% of total area of existing zoning lot, up to a maximum 950 SF.	

Notes:
[1] Height is measured from finished grade to highest point of structure (see Sec. 27-43 Definitions).
[2] ABH shall be reduced to 1-story (15 feet maximum height) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).
[3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 211.2.1c**



KEY (SH-RS): Table 211.2.1c			
See also Sec. 27-43 Definitions	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>SF:</b> Square feet <b>UFA:</b> Usable floor area <b>CP:</b> Carport <b>GAR:</b> Garage	<: Less than >: Greater than =: Equal to

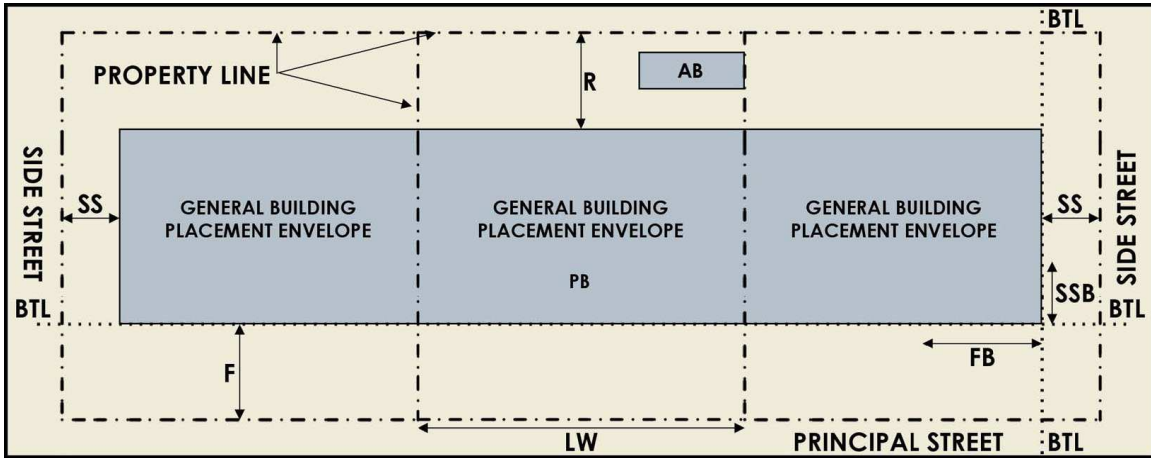
Parking Placement (location of parking space(s)) [2, 3]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	18'	18'	18'
SS	18'	18'	10'
SI	1' [1]	CP: 3' [1] GAR: 7' [1]	CP: 3' [1] GAR: 7' [1]
R - Adjacent to/separated by alley from any use - Adjacent to any other use (no alley)	1' 3' [1]	Refer to 27-211.2.1a (AB)	Refer to 27-211.2.1a (AB)
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		2/detached unit When applicable: 1/studio & 1-bedroom unit 1.5/2-bedroom unit 2/3-bedroom (or more) unit	

- Notes:
- [1] Parking pad (pavement) setback may be reduced to 0' for shared access and parking areas. Any structure (e.g., garage/carport) used for parking shall meet minimum setback specified above.
  - [2] *Ribbon driveways:* Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
  - [3] *Parking:* No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
  - [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.

(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011; Ord. No. 2018-117, § 1(Exh. A), 8-2-2018)

**Sec. 27-211.2.2. General District Development Standards for Seminole Heights Residential Single-family attached (SH-RS-A) district.**

(a) Building placement, form, and layout standards: all development, including semi-detached and two-family, shall comply with development standards set forth below: **Graphic 211.2.2a**

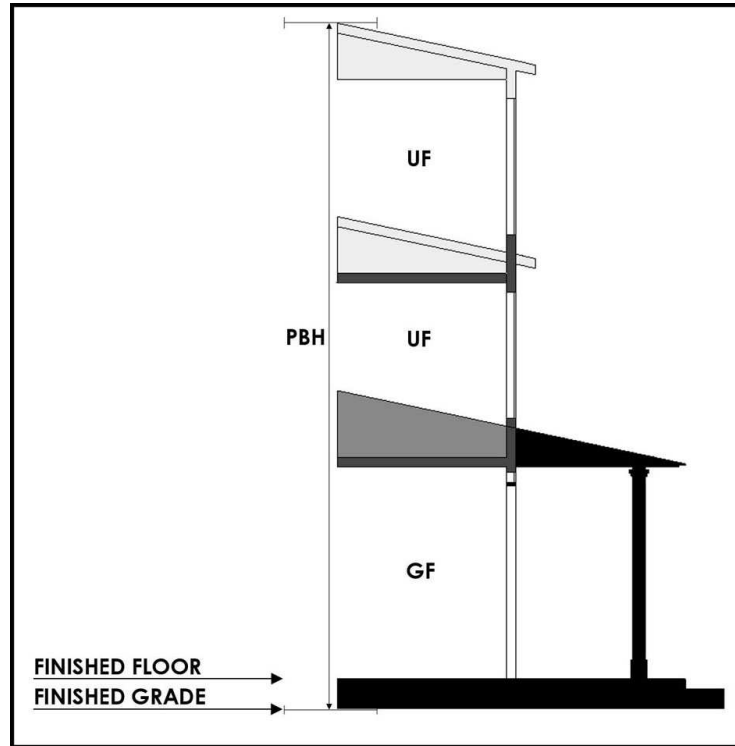


KEY (SH-RS-A): Table 211.2.2a				
See also Sec. 27-43 Definitions	<b>PB:</b> Principal building <b>AB:</b> Accessory building <b>BTL:</b> Build-to-line	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>FB:</b> Front Building Form <b>SSB:</b> Side (street) Building Form	<b>LW:</b> Lot Width <b>LA:</b> Lot Area <b>SF:</b> Square Feet <b>min:</b> minimum

Building Placement (PB) [9]		Building Placement (AB) [8, 9]	
<b>BTL [1, 3]</b>		<b>Setback [4]</b>	
F	[6]	F	60'
SS	[2, 6, 7]	SS	3'
<b>Setback [2, 4]</b>		<b>Setback [4]</b>	
SI	0'	SI	0'
R	20'	R	3'
<b>Building Form</b>		<b>Building Form</b>	
FB	Refer to Map SH-25.1 & Refer to Sec. 27-211.7	FB	N/A
SSB		SSB	N/A
Lot Configuration [5]			
Lot Width		50' min	
Lot Area (density factor)		Per Future Land Use Category	

- Notes:
- [1] Build-to-line: required line/location at which the building wall shall be placed.
  - [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at 3 feet minimum setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
  - [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
  - [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
  - [5] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
  - [6] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
  - [7] Reduction to 3' minimum permitted for porte cochere.
  - [8] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-54, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
  - [9] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 211.2.2b:** Depicts an example 1-story, 2-story, and 3-story residential single-family attached cross section.



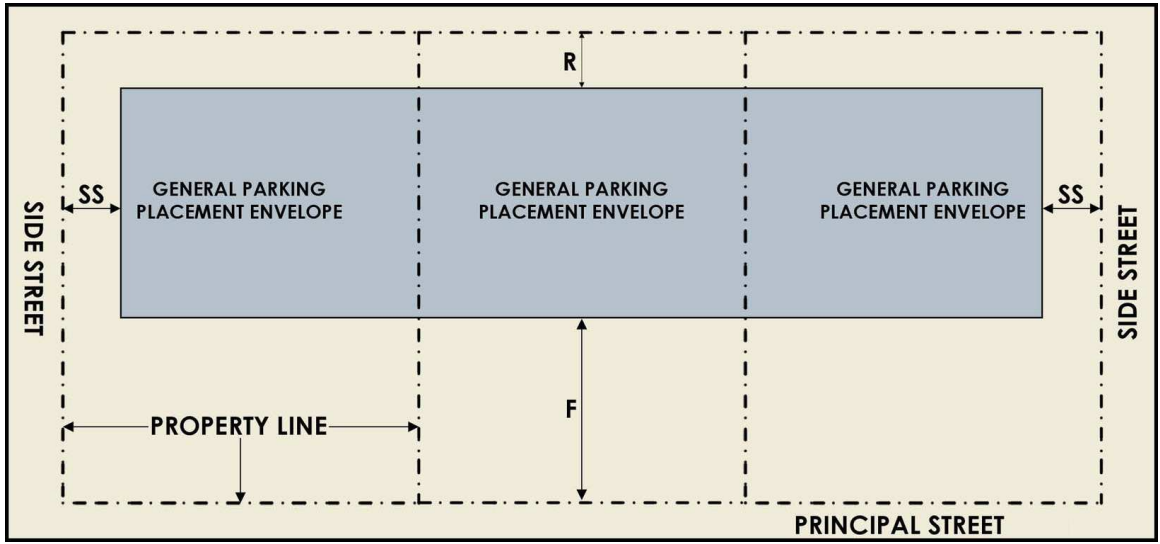
KEY (SH-RS-A): Table 211.2.2b		
See also Sec. 27-43 Definitions	<b>GF:</b> Ground Floor <b>UF:</b> Upper Floor <b>PBH:</b> Principal building height <b>ABH:</b> Accessory building height	<b>SF:</b> Square feet <b>PW:</b> Parapet wall <b>UFA:</b> Usable floor area <b>min:</b> minimum

Use Placement	
GF	Residential (when permitted: non-residential)
UF	Residential (when permitted: non-residential)
Maximum Height [1]	
PBH	2-stories (35 feet)
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-211.7 for Residential Building Form Standards.	

Notes:  
 [1] Height is measured from finished grade to highest point of structure (see Sec. 27-43 Definitions).  
 [2] ABH shall be reduced to 1-story (15 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).  
 [3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.



(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 211.2.2c:**



KEY (SH-RS-A): Table 211.2.2c			
See also Sec. 27-43 Definitions	F: Front SS: Side (street) SI: Side (Interior) R: Rear	SF: Square feet UFA: Usable floor area CP: Carport GAR: Garage	<: Less than >: Greater than =: Equal to

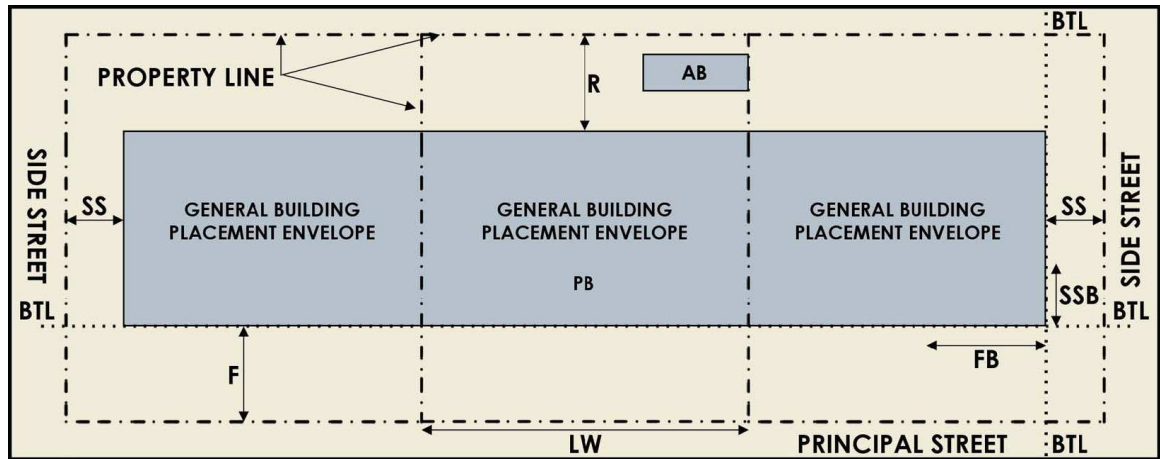
Parking Placement (location of parking space(s)) [2, 3, 5]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	No closer to property line than F build-to line	18'	18'
SS	18'	18'	10'
SI	1' [1]	0'	0'
R	1'	Refer to 548.2a (AB)	Refer to 548.2a (AB)
- Adjacent to/separated by alley from any use - Adjacent to any other use (no alley)	3' [1]		
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		2 / detached unit When applicable: 1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	

- Notes:
- [1] Parking pad (pavement) setback may be reduced to 0' for shared access and parking areas.
  - [2] Ribbon driveways: Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
  - [3] Parking: No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
  - [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.
  - [5] Structured parking (when applicable): Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.

(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011)

**Sec. 27-211.2.3. General District Development Standards for Seminole Heights - Residential Multi-family (SH-RM) district.**

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Two-family, attached, and semi-detached residential shall adhere to the SHRS-A development standards: **Graphic 211.2.3a:**

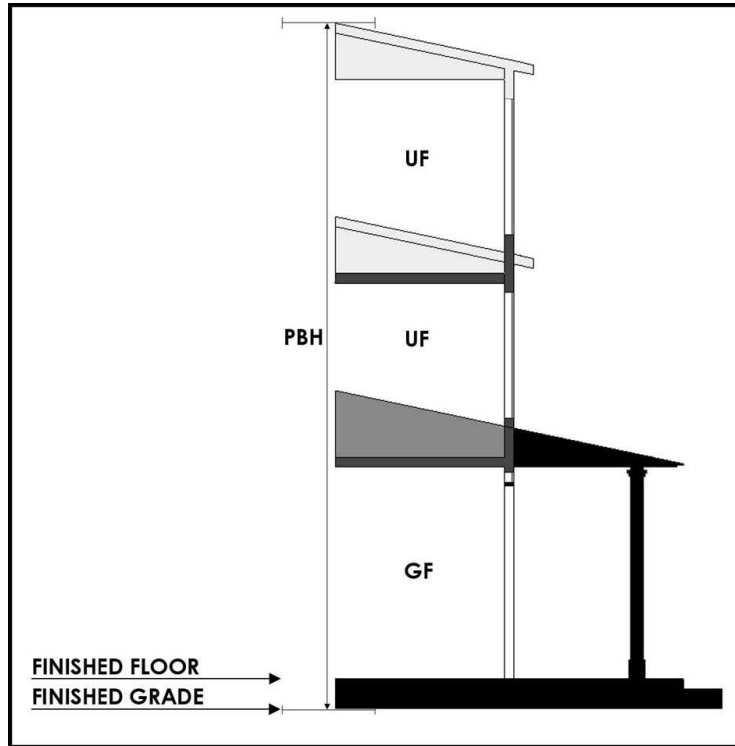


KEY (SH-RM): Table 211.2.3a				
See also Sec. 27-43 Definitions	<b>PB:</b> Principal building <b>AB:</b> Accessory building <b>BTL:</b> Build-to-line	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>FB:</b> Front Building Form <b>SSB:</b> Side (street) Building Form	<b>SF:</b> Square Feet <b>min:</b> minimum

Building Placement (PB) [10]		Building Placement (AB) [9, 10]	
<b>BTL [1, 3]</b>		<b>Setback [4]</b>	
F	[7]	F	60'
SS	[2, 7, 8]	SS	3'
<b>Setback [2, 4]</b>		<b>Setback [4]</b>	
SI	0'	SI	0'
R	20'	R	3'
<b>Building Form</b>		<b>Building Form</b>	
FB	25% min [5]	FB	N/A
SSB	10% min [5]	SSB	N/A
Lot Configuration [6]			
Lot Width		50' min	
Lot Area (density factor)		Per Future Land Use Category [11]	

- Notes:
- [1] Build-to-line: required line/location at which the building wall shall be placed.
  - [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at 3 feet minimum setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
  - [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
  - [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
  - [5] Minimum % of building façade (ground floor) shall be built at required BTL.
  - [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
  - [7] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
  - [8] Reduction to 3' minimum permitted for porte cochere.
  - [9] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-54, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
  - [10] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.
  - [11] For those properties within designated nodes per the Greater Seminole Heights Vision Plan & the Tampa Comprehensive Plan, refer to Sec. 27-211.15.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 211.2.3b**: Depicts an example 1-story, 2-story, and 3-story residential multi-family cross section.

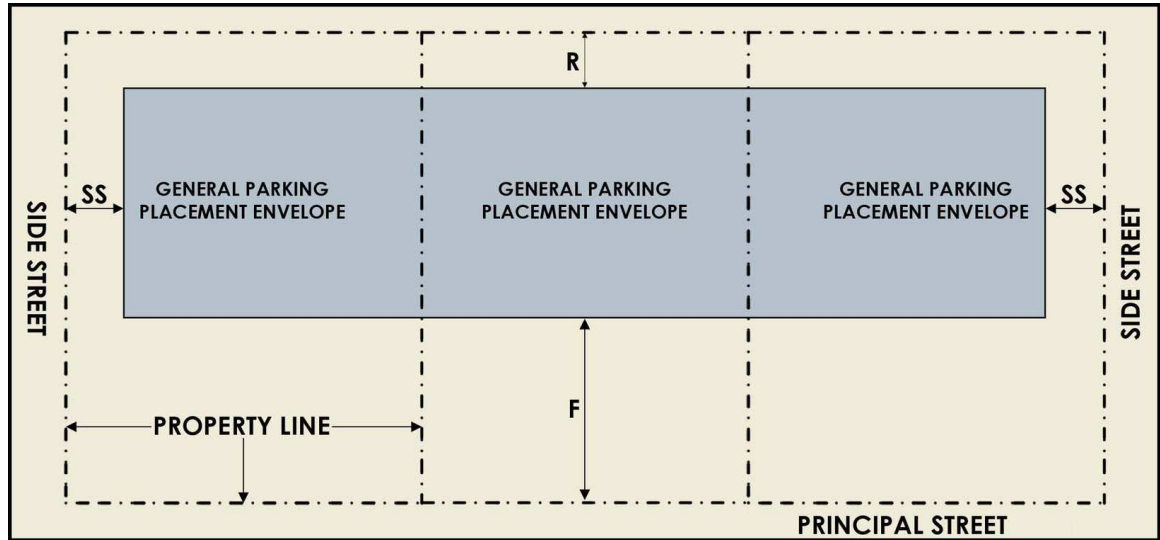


<b>KEY (SH-RM): Table 211.2.3b</b>		
See also Sec. 27-43 Definitions	<b>GF:</b> Ground Floor <b>UF:</b> Upper Floor <b>PBH:</b> Principal building height <b>ABH:</b> Accessory building height	<b>SF:</b> Square feet <b>PW:</b> Parapet wall <b>UFA:</b> Usable floor area <b>min:</b> minimum

<b>Use Placement</b>	
GF	Residential (when permitted: non-residential)
UF	Residential (when permitted: non-residential)
<b>Maximum Height [1]</b>	
PBH	3-stories (38 feet) [4]
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
<b>Miscellaneous Standards</b>	
Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-211.7 for Residential Building Form Standards.	

Notes:  
 [1] Height is measured from finished grade to highest point of structure (see Sec. 27-43 Definitions).  
 [2] ABH shall be reduced to 1-story (15 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).  
 [3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.  
 [4] For those lands with the R-35 (or more dense) future land use category, the maximum building height shall be 5 stories (60 feet).

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 211.2.3c:**



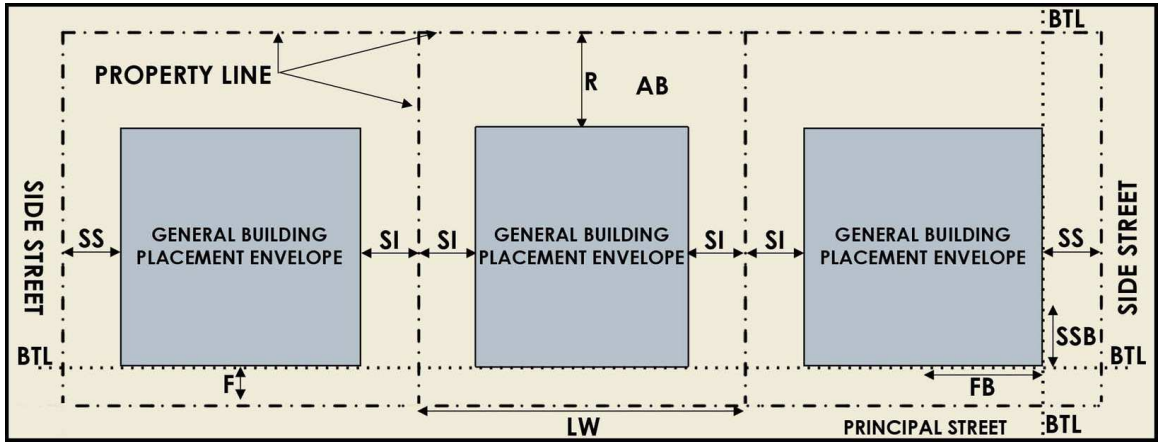
KEY (SH-RM): Table 211.2.3c			
See also Sec. 27-43 <i>Definitions</i>	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>SF:</b> Square feet <b>UFA:</b> Usable floor area <b>CP:</b> Carport <b>GAR:</b> Garage	<: Less than >: Greater than =: Equal to

Parking Placement (location of parking space(s)) [2, 3, 5]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	No closer to property line than F build-to line	18'	18'
SS	18'	18'	10'
SI	1' [1]	0'	0'
R	1'	Refer to 548.3a (AB)	Refer to 548.3a (AB)
- Adjacent to/separated by alley from any use	3' [1]		
- Adjacent to any other use (no alley)			
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	

- Notes:
- [1] Parking pad (pavement) setback may be reduced to 0' for shared access and parking areas.
  - [2] *Ribbon driveways:* Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
  - [3] *Parking:* No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
  - [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.
  - [5] *Structured parking (when applicable):* Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.

**Sec. 27-211.2.4. General District Development Standards for Seminole Heights - Residential-Office (SH-RO) district.**

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Single-family, detached residential shall adhere to the SH-RS development standards. Semi-detached, two-family, and attached residential shall adhere to the SH-RS-A development standards: **Graphic 211.2.4a:**

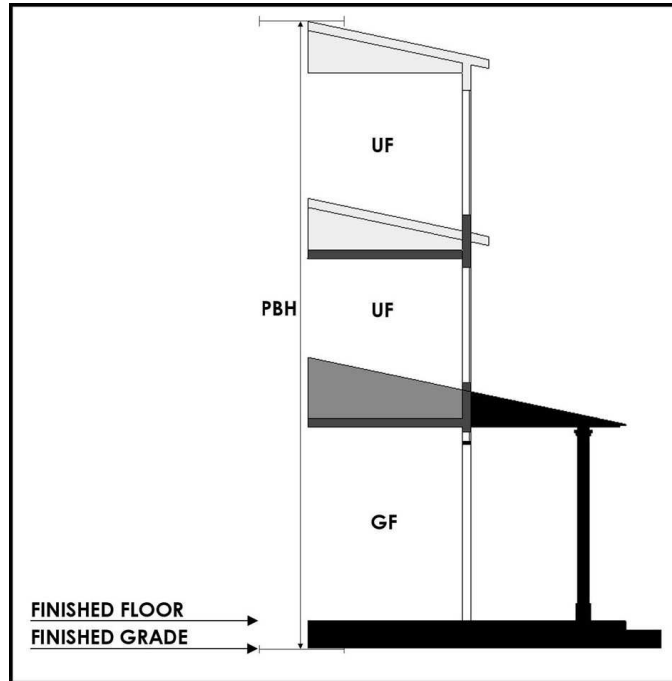


KEY (SH-RO): Table 211.2.4a				
See also Sec. 27-43 Definitions	PB: Principal building AB: Accessory building BTL: Build-to-line	F: Front SS: Side (street) SI: Side (Interior) R: Rear	FB: Front Building Form SSB: Side (street) Building Form	LW: Lot Width SF: Square Feet min: minimum

Building Placement (PB)		Building Placement (AB) [9, 10]	
BTL [1,3]		Setback [4]	
F	[7]	F	60'
SS	[2, 7]	SS	3'
Setback [2, 4]		Setback [4]	
SI	7' [8]	SI	3'
R	20'	R	3'
Building Form		Building Form	
FB	Refer to Map SH-25.1	FB	Adhere to Principal Building Form
SSB	Refer to Sec. 27.549	SSB	Adhere to Principal Building Form
Lot Configuration [6]			
Lot Width		50' min	
Lot Area		5000 SF min	

- Notes:
- [1] Build-to-line: required line/location at which the building wall shall be placed.
  - [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at three (3) feet setback.
  - [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
  - [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
  - [5] Minimum % of building façade (ground floor) shall be built at required BTL.
  - [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
  - [7] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
  - [8] Reduction to 3' minimum permitted for porte cochere. For substandard (less than 50' width) lots of record, SI setback shall be 5'.
  - [9] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-54, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
  - [10] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.
  - [11] For those properties within the designated nodes per the Greater Seminole Heights Vision Plan & the Tampa Comprehensive Plan refer to Sec. 27-211.15.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 211.2.4b:** Depicts an example of 1-story, 2-story, and 3-story residential-office cross-section.



<b>KEY (SH-RO): Table 211.2.4b</b>		
See also Sec. 27-43 <i>Definitions</i>	<b>GF:</b> Ground Floor <b>UF:</b> Upper Floor <b>PBH:</b> Principal building height <b>ABH:</b> Accessory building height	<b>SF:</b> Square feet <b>PW:</b> Parapet wall <b>UFA:</b> Usable floor area <b>min:</b> minimum

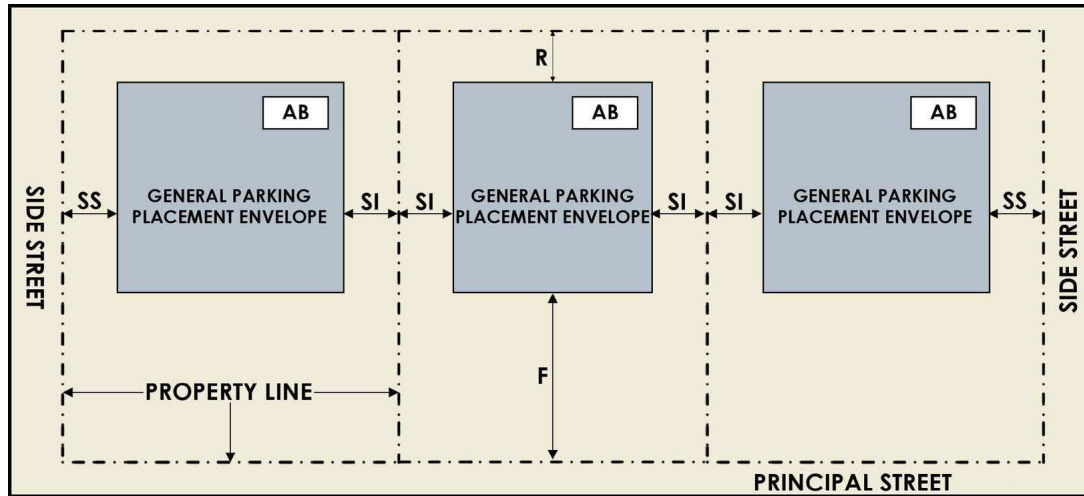
<b>Use Placement</b>	
GF	Office (Residential may also occupy GF)
UF	Residential (Office may extend to UF)

<b>Maximum Height [1]</b>	
PBH	2-3 stories (38 feet)
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.

**Miscellaneous Standards**  
 Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-211.7 for Residential Building Form Standards.

Notes:  
 [1] Height is measured from finished grade to highest point of structure (see Sec. 27-43 Definitions).  
 [2] ABH shall be reduced to 1-story (15 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).  
 [3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 211.2.4c:**



KEY (SH-RO): Table 211.2.4c			
See also Sec. 27-43 Definitions	F: Front SS: Side (street) SI: Side (Interior) R: Rear	SF: Square feet UFA: Usable floor area CP: Carport GAR: Garage	<: Less than >: Greater than =: Equal to

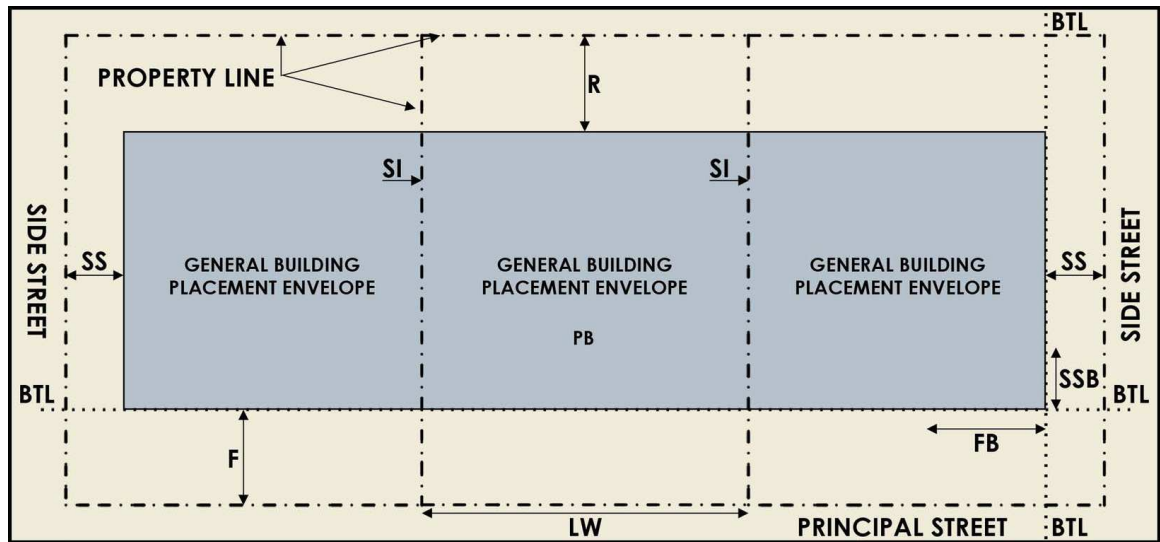
Parking Placement (location of parking space(s)) [2, 3]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	No closer to property line than F build-to line	18'	18'
SS	18'	18'	10'
SI	1' [1]	CP: 3' GAR: 7'	CP: 3' GAR: 7'
R	1'	Refer to 548.4a (AB)	Refer to 548.4a (AB)
- Adjacent to/separated by alley from any use - Adjacent to any other use (no alley)	3' [1]		
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		2 / detached unit When applicable: 1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	
Business/professional office		3 / 1000 SF (stand alone office); 1.5 / 1000 SF (mixed office residential; residential parking to be provided per ratio above)	

- Notes:
- [1] Parking pad (pavement) setbacks may be reduced to 0' for shared access and parking areas.
  - [2] *Ribbon driveways:* Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
  - [3] *Parking:* No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
  - [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.

(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011)

**Sec. 27-211.2.5. General District Development Standards for Seminole Heights - Commercial Neighborhood (SH-CN) district.**

(a) Building placement, form, and layout standards: all development shall comply with development standards set form below. Single-family detached residential shall adhere to the development standards of SH-RS. Semi-detached, attached, and two-family residential shall adhere to the development standards of SH-RS-A. Multi-family residential shall adhere to the development standards of SH-RM:  
**Graphic 211.2.5a**



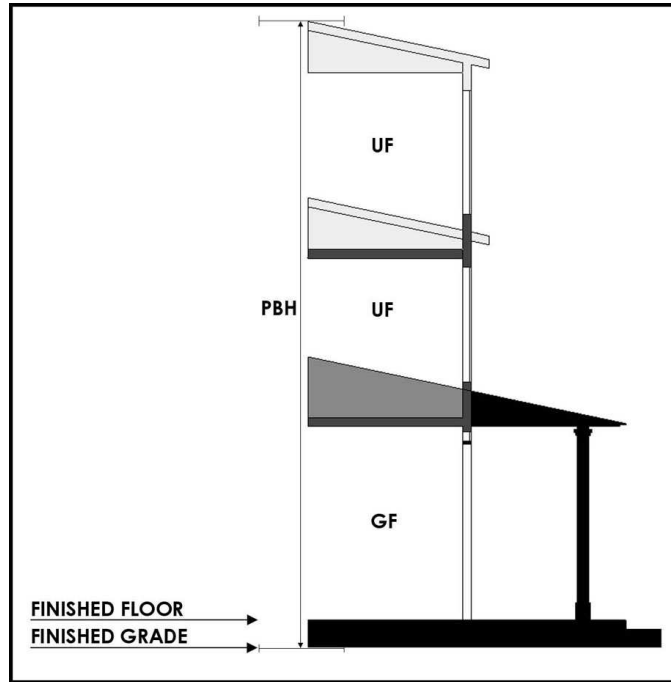
KEY (SH-CN): Table 211.2.5a				
See also Sec. 27-43 Definitions	<b>PB:</b> Principal building <b>AB:</b> Accessory building <b>BTL:</b> Build-to-line	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>FB:</b> Front Building Form <b>SSB:</b> Side (street) Building Form	<b>SF:</b> Square Feet <b>min:</b> minimum

Building Placement (PB)		Building Placement (AB)	
<b>BTL [1, 3]</b>		<b>Setback [4]</b>	
F	10'	F	10'
SS	10'	SS	10'
<b>Setback [2, 4]</b>		<b>Setback [4]</b>	
SI	0'	SI	0'
R	15'	R	15'
Building Form		Building Form	
FB	35% min [5]	FB	N/A
SSB	15% min [5]	SSB	N/A
Lot Configuration [6]			
Lot Width	60' min	Lot Area	6000 SF min [7]

- Notes:
- [1] Build-to-line: required line/location at which the building wall shall be placed.
  - [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at three (3) feet setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
  - [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
  - [4] *Setback*: the line/location that sets the minimum distance at which the building wall may be placed.
  - [5] Minimum % of building façade (ground floor) shall be built at required BTL.
  - [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
  - [7] For those properties within designated nodes per the Greater Seminole Heights Vision Plan & the Tampa Comprehensive Plan, refer to 27-211.15.



(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 211.2.5b** Depicts an example of a 1-story, 2-story, and 3-story office cross-section.

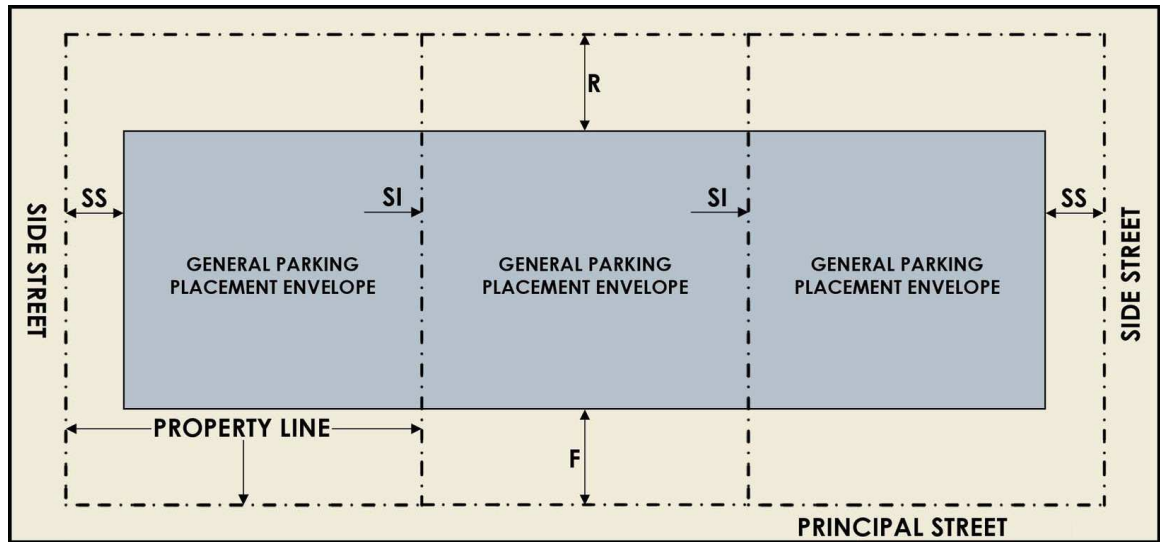


KEY (SH-CN): Table 211.2.5b		
See also Sec. 27-43 Definitions	<b>GF:</b> Ground Floor <b>UF:</b> Upper Floor <b>PBH:</b> Principal building height <b>ABH:</b> Accessory building height	<b>SF:</b> Square feet <b>PW:</b> Parapet wall <b>UFA:</b> Usable floor area <b>min:</b> minimum

Use Placement	
GF	Office/private institutional, governmental/public institutional
UF	Office/private institutional, governmental/public institutional, residential
Maximum Height [1]	
PBH	3 stories (45 feet)
ABH	2-stories (25 feet) [2]
PW	7' above PBH and ABH [4]
Elevator/mechanical housing, steeples, flag poles, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Minimum transparency, such as architectural features or elements as defined in Sec. 27-43, window boxes, doors and windows, for nonresidential façades along FB and SSB, measured within first 15' (from grade) of the façade.	30 percent for all non-residential uses
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade [3]	25 percent

Notes:  
 [1] Height is measured from finished grade to highest point of structure (see Sec. 27-43 Definitions).  
 [2] ABH shall be reduced to 2-story (22.5 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on subject parcel).  
 [3] Aluminum, other metal siding, or plastic/PVC materials shall only be used as accent or ancillary materials.  
 [4] PW maximum of 7' above maximum height for PBH and ABH for decorative and screening purposes.

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 211.2.5c**



KEY (SH-CN): Table 211.2.5c		
See also Sec. 27-43 <i>Definitions</i>	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>SF:</b> Square Feet <b>UFA:</b> Usable Floor Area

Parking Placement (location of parking space(s)) [2, 3]	
Setback	
F	15'
SS	15'
SI	3' [1]
R	8'
- Adjacent to/separated by alley from detached or attached residential use	3' [1]
- Adjacent to any other use (no alley)	5'
- Adjacent to any other use (separated by alley)	
Required Spaces (see Table SH-25.1 for other permitted uses)	Minimum Ratio (spaces per unit) (see Table 211.12 for other ratios by use)
Office, business-professional	3 / 1000 SF (UFA)
Office, medical	5 / 1000 SF (UFA)

Notes:  
 [1] Parking (pavement) setback may be reduced to 0' for shared access and parking areas.  
 [2] 80% of onsite parking shall be located to the side or rear of the principal building.  
 [3] Structured parking (when applicable): Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.

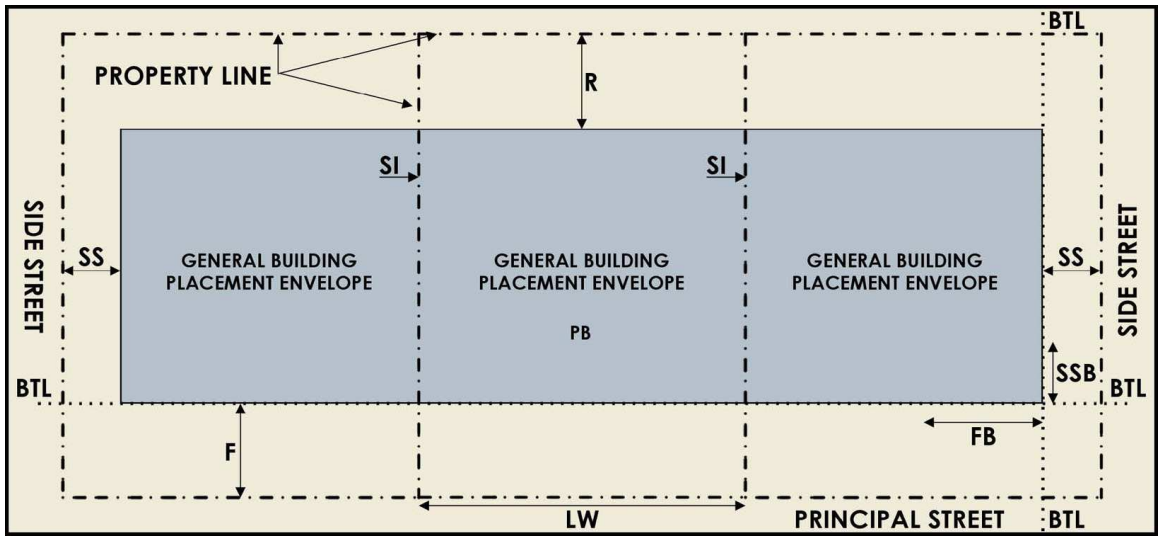
(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011)

**Secs. 27-211.3—27-211.5. Reserved.**

**Sec. 27-211.6. Development Standards for Commercial, Mixed-Use, or other Non-Residential (SH-CG and SH-CI) development.**

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Single-family detached residential shall adhere to the development standards of SH-RS. Semi-detached, attached, and two-family residential shall adhere to the development standards of SHRS-A Multi-family residential shall adhere to the development standards of SH-RM.

**Graphic 211.6a**

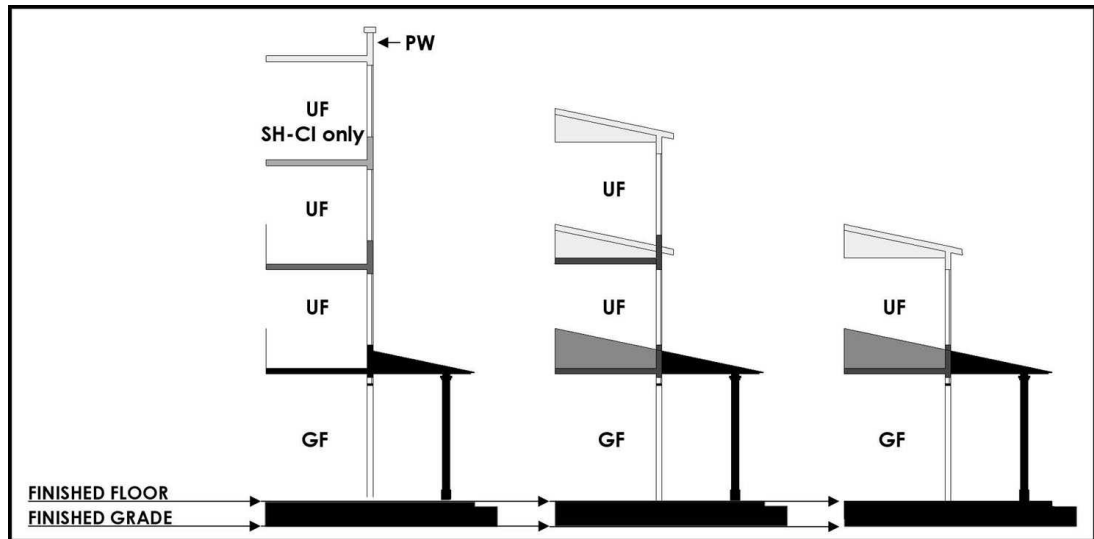


KEY (SH-CG and SH-CI, as specified below): Table 211.6a				
See also Sec. 27-43 Definitions	<b>PB:</b> Principal building <b>AB:</b> Accessory building <b>BTL:</b> Build-to-line	<b>F:</b> Front <b>SS:</b> Side (street) <b>SI:</b> Side (Interior) <b>R:</b> Rear	<b>FB:</b> Front Building Form <b>SSB:</b> Side (street) Building Form	<b>LW:</b> Lot Width <b>LA:</b> Lot Area <b>SF:</b> Square Feet <b>min:</b> minimum

Building Placement (PB)		Building Placement (AB)	
BTL [1, 3]		Setback [4]	
F	10'	F	10'
SS	10'	SS	10'
Setback [2, 4]		Setback [4]	
SI	0'	SI	0'
R	15'	R	15'
Building Form [7]		Building Form	
FB	50% min [5]	FB	N/A
SSB	25% min [5]	SSB	N/A
Lot Configuration [6]			
Lot Width		75' min	
Lot Area		7500 SF min [8]	

- Notes:
- [1] Build-to-line: required line/location at which the building wall shall be placed.
  - [2] Canopies, awnings, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at zero (0) feet setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
  - [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
  - [4] *Setback*: the line/location that sets the minimum distance at which the building wall may be placed.
  - [5] Minimum % of building façade (ground floor) shall be built at required BTL.
  - [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
  - [7] Drive-in windows and any associated overhangs/canopies shall be setback a minimum of 50 feet from the principal street (Front).
  - [8] For those properties within designated nodes per the Greater Seminole Heights Vision Plan and the Tampa Comprehensive Plan, refer to Sec. 27-211.15.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 211.6b** Depicts an example of a 1-story, 2-story, 3-story, and 4-story commercial/mixed use cross-section.

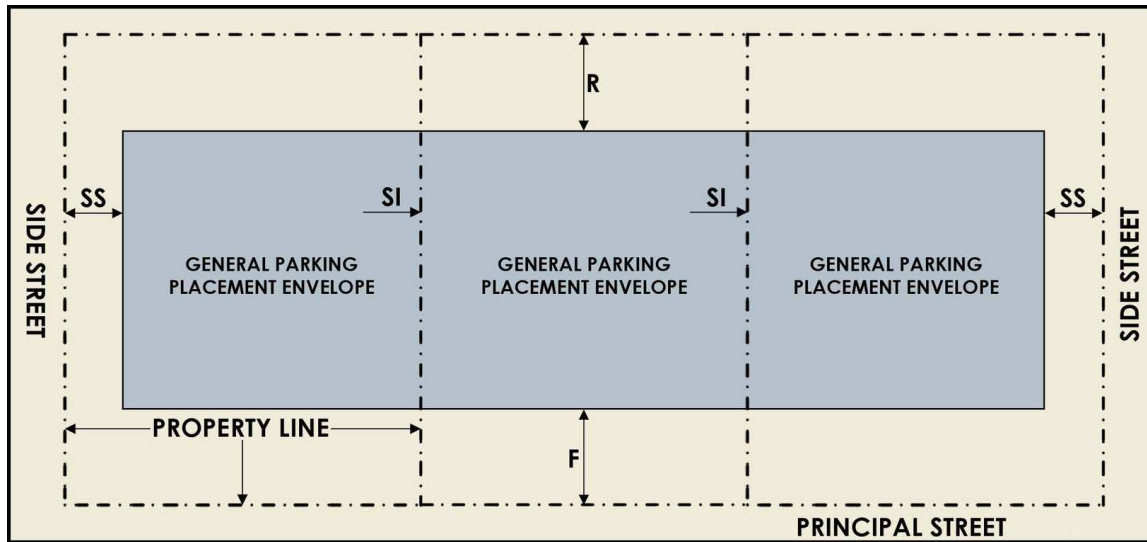


KEY (SH-CG and SH-CI): Table 211.6b		
See also Sec. 27-43 <i>Definitions</i>	<b>GF:</b> Ground Floor <b>UF:</b> Upper Floor <b>PBH:</b> Principal building height <b>ABH:</b> Accessory building height	<b>SF:</b> Square feet <b>PW:</b> Parapet wall <b>UFA:</b> Usable floor area <b>min:</b> minimum

Use Placement	
GF	Commercial, office/private institutional, governmental/public institutional, recreation/assembly, residential (as permitted in Table SH-25.1)
UF	Office/private institutional, governmental/public institutional, recreation/assembly, residential (as permitted in Table SH-25.1)
Maximum Height [1]	
PBH	SH-CG: 3-stories (45 feet); SH-CI: 4-stories (55 stories)
ABH	2-stories (25 feet) [2]
PW	7' above PBH and ABH [4]
Elevator/mechanical housing, steeples, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Minimum transparency, such as architectural features or elements as defined in Sec. 27-43, window boxes, doors and windows, for nonresidential façades along FB and SSB, measured within first 15 feet (from grade) of the façade.	40 percent for all non-residential uses
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade [3]	25 percent

Notes:  
 [1] Height is measured from finished grade to highest point of structure (see Sec. 27-43 Definitions).  
 [2] ABH shall be reduced to 2-story (22.5 feet) when located within 20 feet of a 1-story residential principal building (not located on subject parcel).  
 [3] Aluminum, other metal siding, or plastic/PVC materials shall only be used as accent or ancillary materials.  
 [4] PW maximum of 7' above maximum height for PBH and ABH for decorative and screening purposes.

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 211.6c**



KEY (SH-CG and SH-CI): Table 211.5c			
See also Sec. 27-43 Definitions	<b>F:</b> Front	<b>SF:</b> Square Feet	<: Less than
	<b>SS:</b> Side (street)	<b>UFA:</b> Usable Floor Area	>: Greater than
	<b>SI:</b> Side (Interior)		=: Equal to
	<b>R:</b> Rear		

Parking Placement (location of parking space(s)) [2, 3]	
<b>Setback</b>	
F	15'
SS	15'
SI	3' [1]
R	8'
- Adjacent to/separated by alley from detached or attached residential use	3' [1]
- Adjacent to any other use (no alley)	5'
- Adjacent to any other use (separated by alley)	
<b>Required Spaces (see Table SH-25.1 for other permitted uses)</b>	<b>Minimum Ratio (spaces per unit) (see Table 211.12 for other ratios by use)</b>
General Retail	4 / 1000 SF (UFA)
Restaurant <100 occupants	6 / 1000 SF (UFA)
Restaurant ≥100 occupants	0.25 per person
Office, business-professional	3 / 1000 SF (UFA)
Office, medical	5 / 1000 SF (UFA)

Notes:  
 [1] Parking pad (pavement) set back may be reduced to 0' for shared access and parking areas.  
 [2] 80% of onsite parking shall be located to the side or rear of the principal building.  
 [3] *Structured parking (when applicable):* Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.

**Sec. 27-211.7. Residential Building Forms.**

(a) All residential development within the Seminole Heights district shall refer to Map SH-25.1 for residential building form type, and shall adhere to the applicable form standards set forth below. Requirements of this section do not apply to residential properties that lie within the Seminole Heights Local Historic District. Resources: McAlester, Virginia and Lee. A Field Guide to American House; Paradis, Thomas W. "ARCHITECTURAL STYLES of AMERICA." Web. 22 Nov. 2010

(b) For those properties identified on Map SH-25.1 as "Craftsman/Southern Vernacular", the applicant may choose one (1) form-type from the following residential building forms:

- (1) Craftsman (CT) [211.7.1].
- (2) National Folk (NF) [211.7.2].
- (3) American Four Square (AFS) [211.7.3].
- (4) Folk Victorian (FV) [211.7.4].
- (5) Queen Anne (QA) [211.7.5].
- (6) Prairie (P) [211.7.6].

(c) For those properties identified on Map SH-25.1 as "Ranch/Transitional Ranch", the applicant may choose one (1) form-type from the following residential building forms:

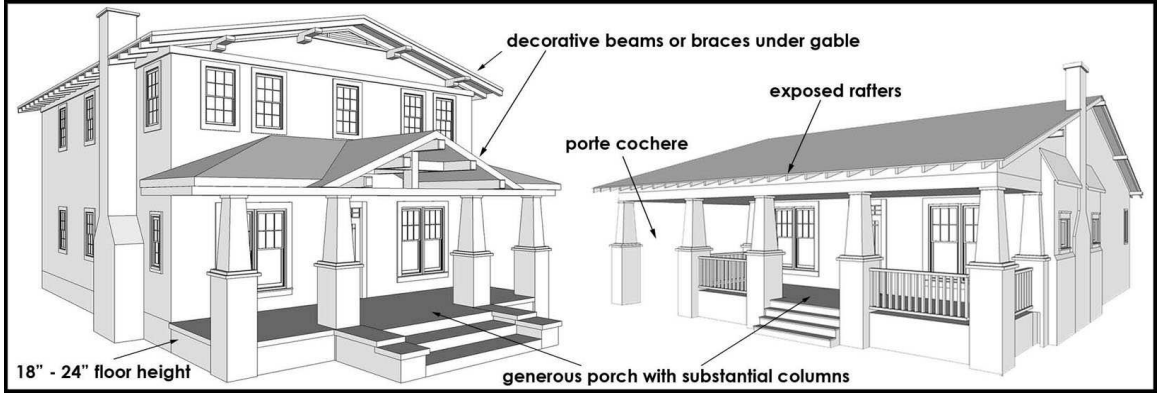
- (1) Ranch (RH) [211.7.7].
- (2) Minimal Traditional (MT) [211.7.8].
- (3) Contemporary Modern (CM) [211.7.9].
- (4) Split Ranch (SR) [211.7.10].

(d) For those properties identified on Map SH-25.1 as "Eclectic", the applicant may choose one (1) form-type from the following residential building forms:

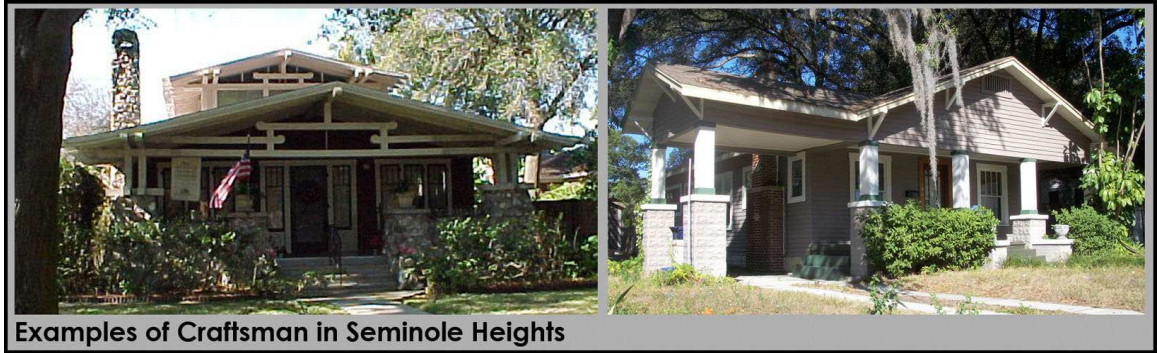
- (1) Spanish Eclectic (SE) [211.7.11].
- (2) Any other residential building form set forth in subsection (b) above.
- (3) Within "Hampton Terrace" boundary, as shown on Map SH-25.1, "Eclectic" designation shall also include any residential building form set forth in (b), (c), or (d)(1) above.

**Form Description and Graphics 211.7.1: (CT) Craftsman (Arts & Crafts)**

Characterized by square plans with low-pitched gables (occasionally gables are clipped) or hipped roofs, with wide, unenclosed eave overhang. Roof rafters are usually exposed; shed dormers and decorative (false) beams or braces are common. Windows are double hung-sash with three or more vertical lights in the top sash. Craftsman bungalows have large broad porches which usually extend across the front façade (may wrap around one side) and are supported by substantial columns resting on stone, frame or brick piers.

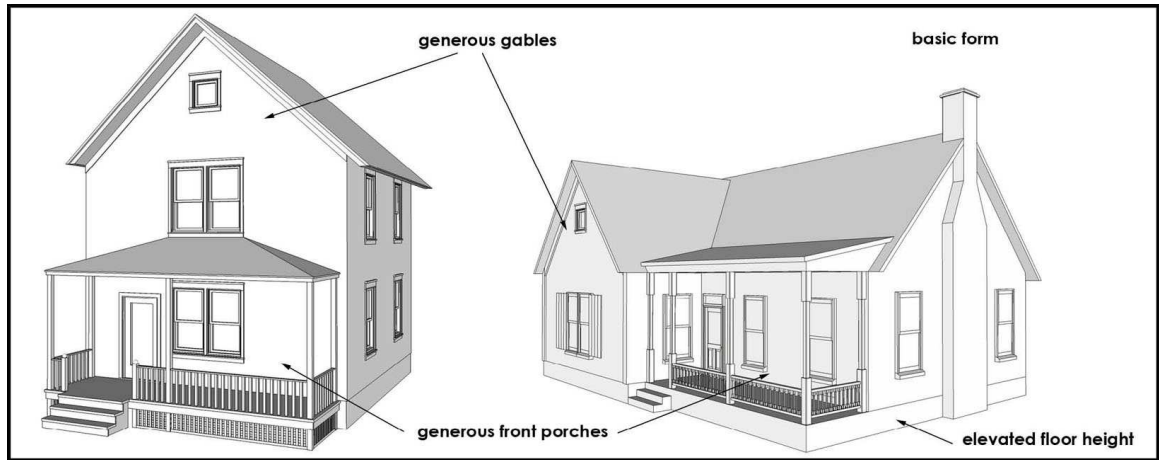


<b>(CT) Craftsman (Arts &amp; Crafts): Table 211.7.1</b>	
<b>Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width (typically width of entire front façade)
Porch Depth (minimum to maximum)	8' to 12'
Roof Pitch	5/12 - 6/12 rise to run (less than 30°) for primary; as low as 3/12 for ancillary (porch)
Details	Exposed rafters/knee braces; substantial columns on piers
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side façade, flat or up to 4/12 rise to run; single car width



**Form Description and Graphics 211.7.2: (NF) National Folk (Southern Vernacular)**

Characterized by simple lines, materials and form. The basic forms are described as gable-front, gable-front and wing, hall-and-parlor, I-house, side-gabled, and pyramidal family. (In Seminole Heights, it is common to find a national folk form with a craftsman porch attached.)



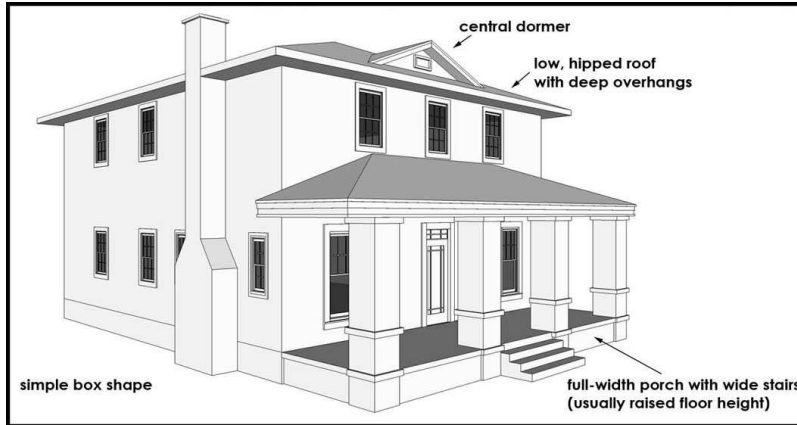
<b>(NF) National Folk: Table 211.7.2 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width (typically width of entire front façade)
Porch Depth (minimum to maximum)	8' to 12'
Roof Pitch	At least 12/12 rise to run (more than 45°); porch roofs and additions may be a lower slope (no less than 4/12) than principal roof (gable or shed are common)
Details	Front porch columns, usually plain/non-ornamental, at least 6' between columns (may be less at entry)
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side façade (or rear for corner lots); shed roof is common; single-car width



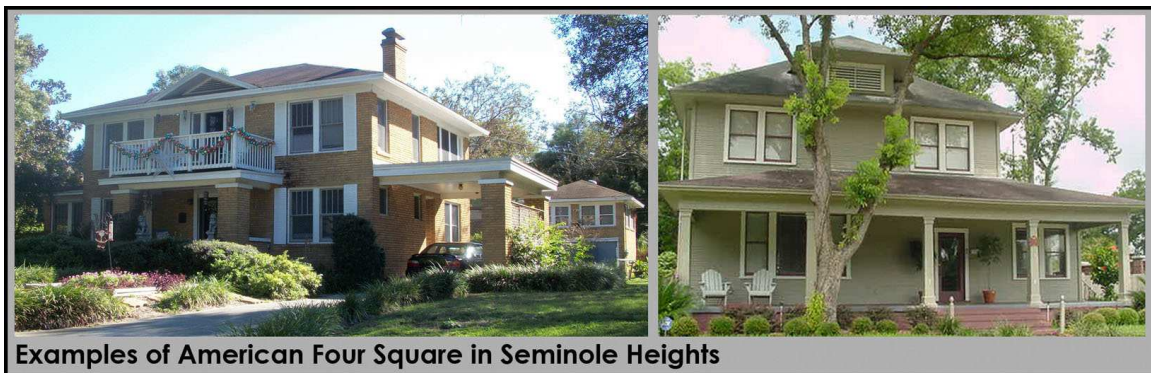


**Form Description and Graphics 211.7.3: (AFS) American Four Square**

Characterized by a simple, four-square folk plan with a low-pitched hipped or pyramidal roof and symmetrical façade. A central dormer is common.



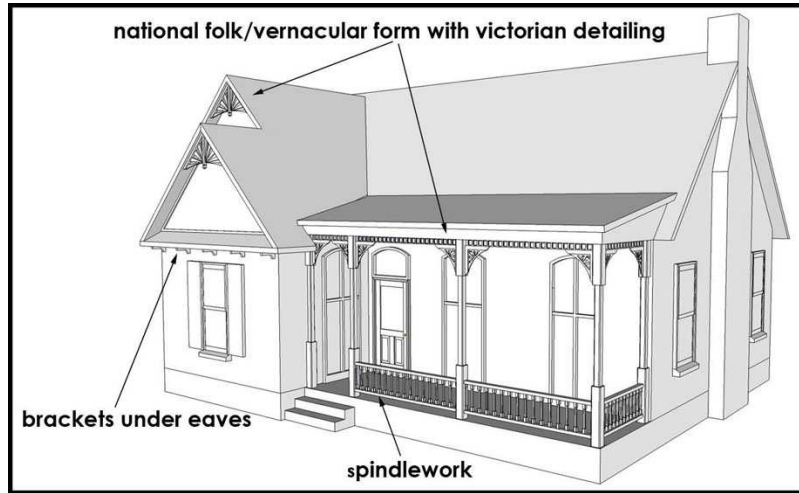
<b>(AFS) American Four Square: Table 211.7.3</b>	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front Only
Porch Width	Minimum of 50% of front façade width (typically width of entire front façade)
Porch Depth (minimum and maximum)	8' to 15'
Roof Pitch	3/12 - 6/12 rise to run (less than 30°)
Details	Simple box shape; two-and-a-half stories (typically), four-room floor plan; low-hipped roof with deep overhang (at least 18"); large central dormer; front porch with wide stairs; brick, stone, stucco, or wood siding only.
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of front porch); detached garage preferred with front or rear orientation.
Carport (porte cochere)	Side façade (or rear for corner lots); flat or similar roof pitch to primary roof; single car or double-car width



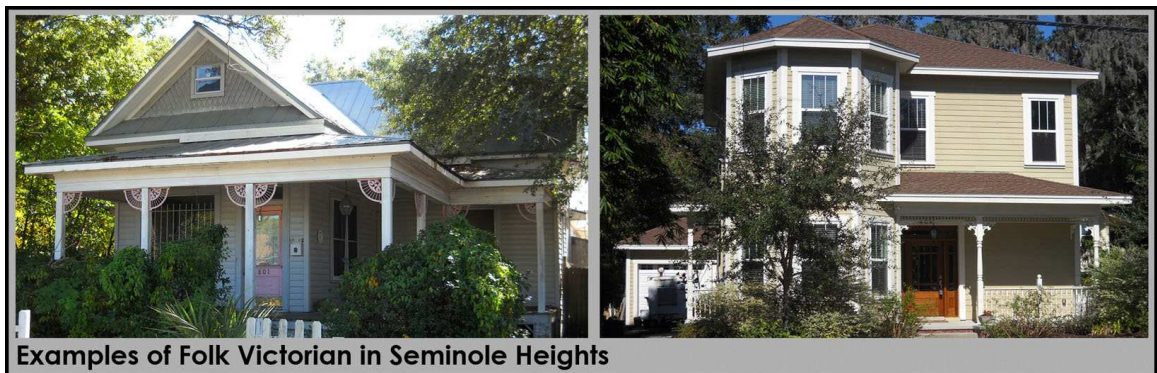
**Examples of American Four Square in Seminole Heights**

**Form Description and Graphics 211.7.4: (FV) Folk Victorian**

Characterized by the presence of Victorian decorative detailing on simple folk house forms (vernacular), which are generally much less elaborate than the Victorian styles.

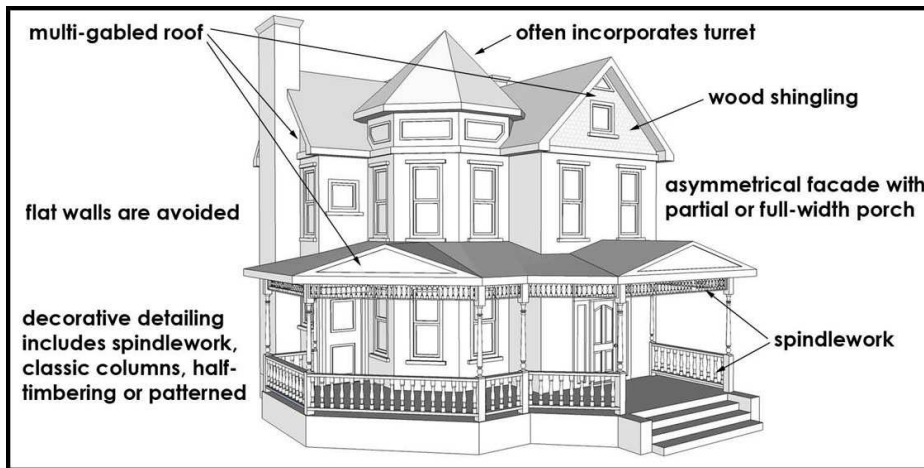


<b>(FV) Folk Victorian: Table 211.7.4 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width
Porch Depth (minimum and maximum)	8' to 12'
Roof Pitch	At least 12/12 rise to run (more than 45°); porch roofs and additions may be a lower slope (no less than 4/12 pitch) than primary roof (gable or shed are common)
Details	Porches with spindle-work detailing. L-shaped or gable-front plan, cornice brackets
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from the front edge of porch)
Carport	Not allowed



**Form Description and Graphics 211.7.5: (QA) Queen Anne**

Characterized by steeply pitched roofs of irregular shapes, usually with a dominant front-facing gable. Queen Annes will often exhibit bay windows and other devices used to avoid continuous straight walls. Some Queen Annes are lavished with gingerbread, while some are made of brick or stone and exhibit much simpler details; many have turrets. The overall façade of the house is asymmetrical.

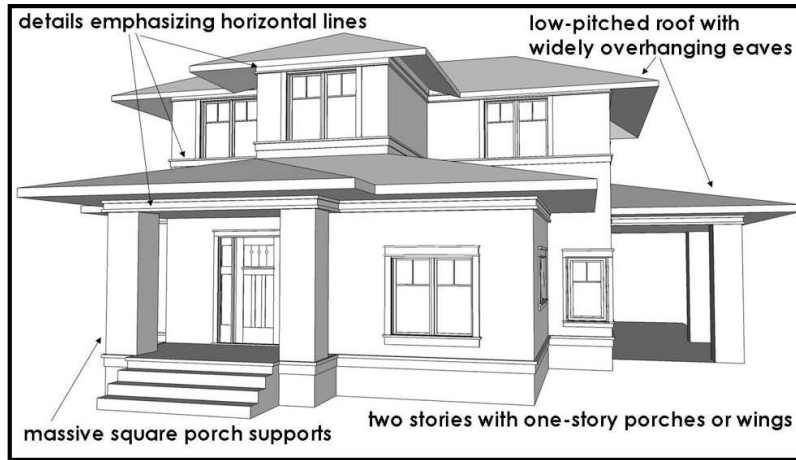


<b>(QA) Queen Anne: Table 211.7.5</b>	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width
Porch Depth (minimum and maximum)	8' to 15'
Roof Pitch	Primary roof at least 12/12 (greater than 45°); ancillary roofs at least 4/12 pitch
Details	Bay windows, balconies, turrets, porches, brackets, and decorative detailing; continuous flat walls not permitted
Garage	Not typically attached to principal building (if attached vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side façade (or rear for corner lots); flat or low pitched at least 4/12 pitch); single- or double-car width

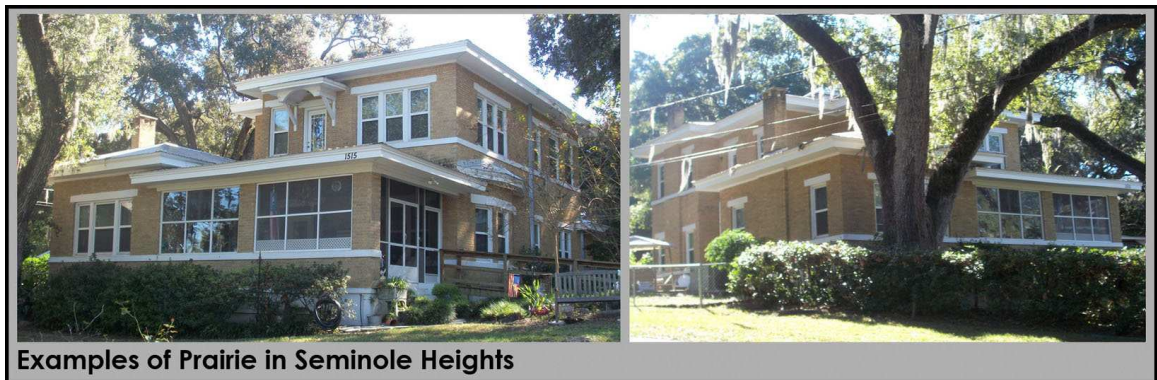


**Form Description and Graphics 211.7.6: (P) Prairie**

Characterized by low-pitched roof, usually hipped, with widely overhanging eaves; typically two-stories, with one-story wings or porches. Eaves, cornices, and façade detailing is quite simple and emphasizes horizontal lines; often with substantial, square porch supports.

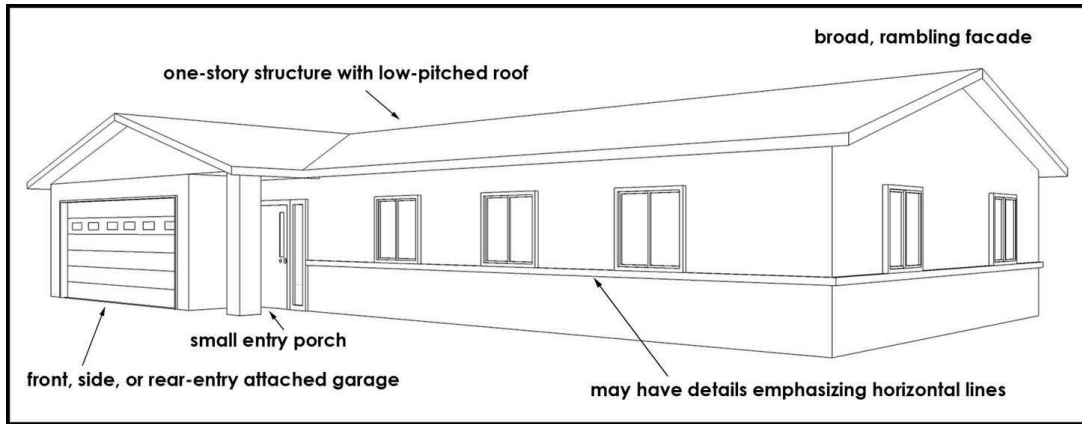


<b>(P) Prairie: Table 211.7.6 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front and/or side allowed
Porch Width	Minimum 5'; may or may not be covered
Porch Depth	At least 6'
Roof Pitch	3/12 - 6/12 rise to run (less than 30°)
Details	Substantial square or rectangular columns typical; emphasis on horizontal lines across façades, contrasting caps on porch and balcony railings; contrasting trim emphasizing upper story
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side or rear orientation; flat or similar roof pitch to primary roof; single- or double- car wide



**Form Description and Graphics 211.7.7: (RH) Ranch**

Characterized by its long, close-to-the-ground profile, and minimal use of decoration, garages are an integral part of the house. Asymmetrical one-story shapes with low-pitched roofs dominate. Three common roof forms are used: hipped, cross-gables, and side-gabled. Usually a moderate or wide eave overhang.



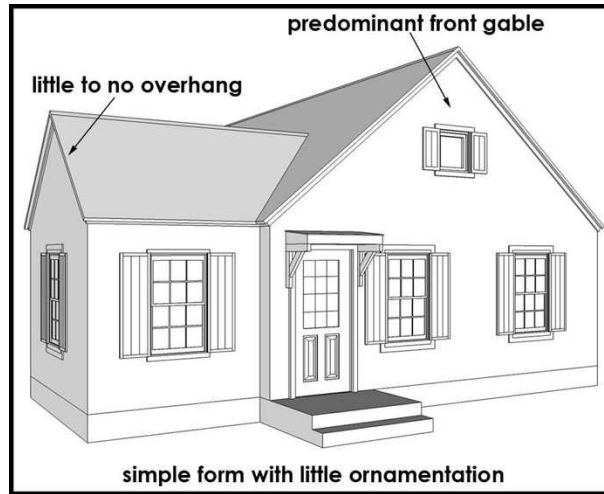
<b>(RH) Ranch: Table 211.7.7 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	0" typically
Porch Location	Front only
Porch Width	Minimum 5'
Porch Depth	3' to 8'
Roof Pitch	3/12 - 6/12
Details	Varied; borrows from many styles of precedent architecture
Garage	Within front or side façade, front, side or back entry; if garage entrance is on front façade, must not project farther from principal façade than required front porch depth
Carport	Side or rear orientation; flat or similar roof pitch to primary roof



**Examples of Ranch in Seminole Heights**

**Form Description and Graphics 211.7.8: (MT) Minimal Traditional**

Characterized by a simplified form loosely based on the Tudor style of the 1920s and '30s, the steep Tudor roof pitch may be lower and the façade is simplified by omitting most of the traditional detailing. Generally has a dominant front gable.

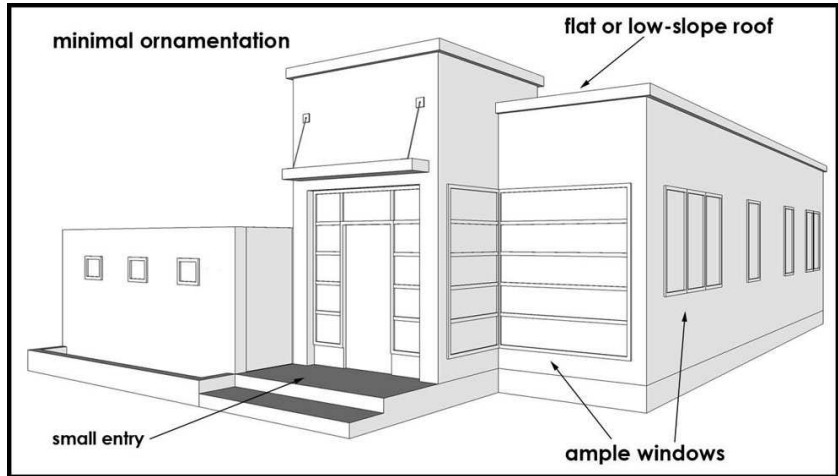


<b>(MT) Minimal Traditional: Table 211.7.8 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	6" to 18"
Porch Location	Front or side allowed
Porch Width	Minimum 5'
Porch Depth (minimum to maximum)	6' to 8'
Roof Pitch	3/12 rise to run minimum
Details	May or may not have a front porch, minimal ornamentation, minimal eave overhang
Garage	Not typically attached to principal building (if attached, vehicle entrance must not project farther from principal façade than from porch depth)
Carport	Side façade (of rear for corner lot); flat or shed roof; single car width

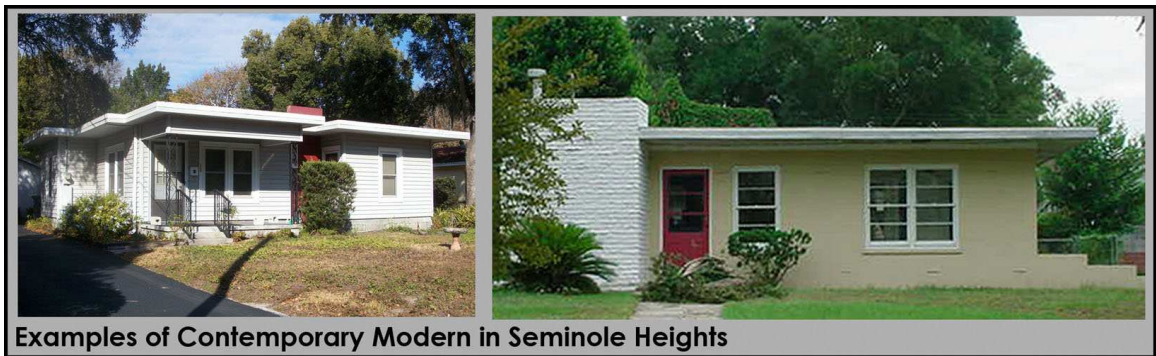


**Form Description and Graphics 211.7.9: (CM) Contemporary Modern**

Characterized by ample windows and flat or low-sloped roofs (or a combination of the two). Entry porches are usually small and may or may not be covered.

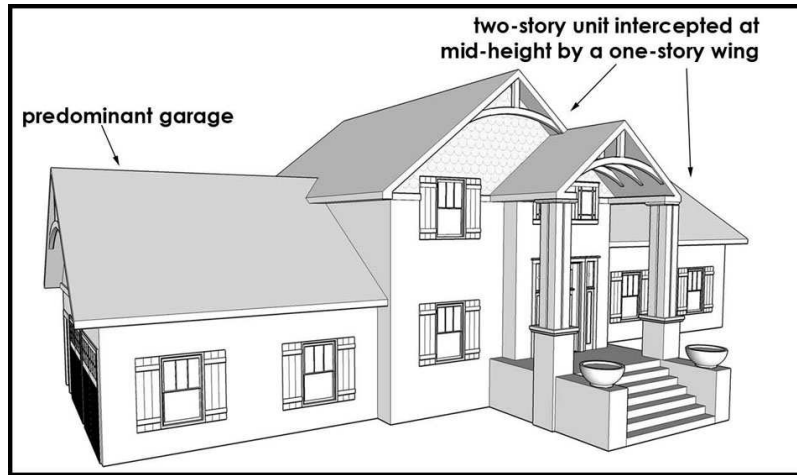


<b>(CM) Contemporary Modern: Table 211.7.9 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	0" typically
Porch Location	Front, generally
Porch Width	Generally similar width to front entry (minimum of 5'); can be wider
Porch Depth (minimum to maximum)	3' to 8'
Roof Pitch	flat or low-slope up to 5/12 rise to run
Details	Clean modern lines, little ornamentation, ample windows (at least 60% of front façade)
Garage	Side or front orientation; garage roof may be incorporated under same roof as principal structure; must not project farther from principal façade than front porch depth
Carport	Side or front orientation; carport roof may be incorporated under same roof as principal structure; must not project farther from principal façade than front porch depth

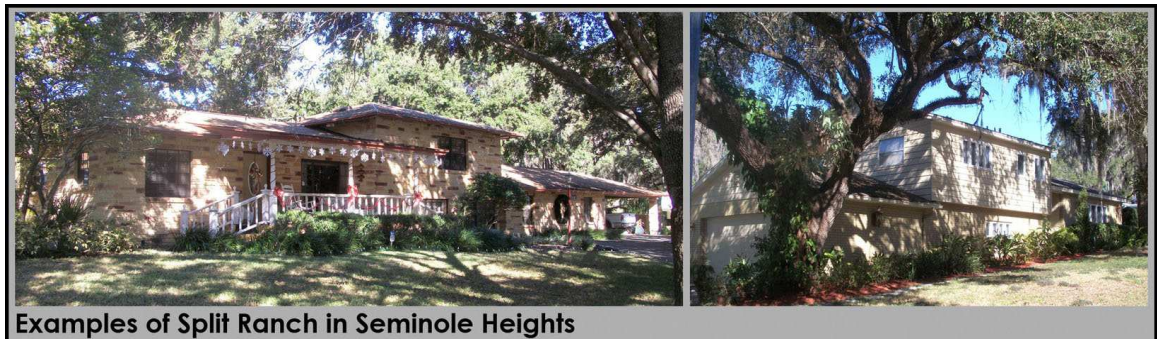


**Form Description and Graphics 211.7.10: (SR) Split Ranch**

Characterized by a multi-story modification of the one-story Ranch style. A two-story unit is intercepted at mid-height by a one-story wing to make three floor levels of interior space. Architectural detailing is based on a variety of architectural styles.



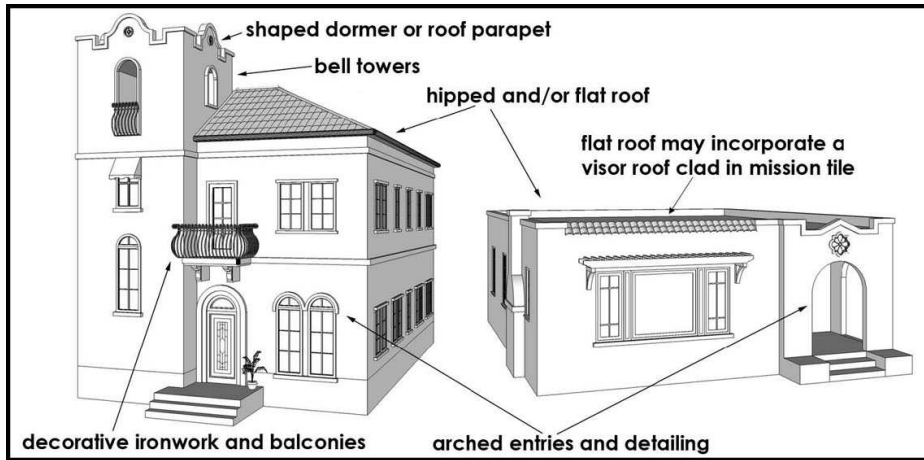
<b>(SR) Split Ranch: Table 211.7.10 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	0" to 18"
Porch Location	Front only
Porch Width	Minimum 5'
Porch Depth (minimum to maximum)	6' to 8'
Roof Pitch	3/12 rise to run or more
Details	May or may not have a front porch, minimal ornamentation, minimal eave overhang; see RH for details
Garage	Not typically attached to principal building (if attached, vehicle entrance must not project farther from principal façade than required front porch depth)
Carport	Side façade (or rear for corner lots); flat or shed roof; single or double-car width



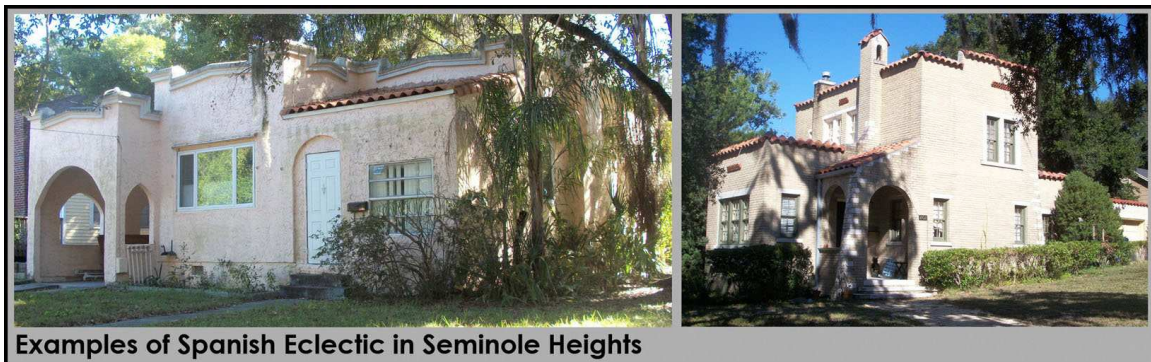


**Form Description and Graphics 211.7.11: (SE) Spanish Eclectic (Mediterranean Revival, Mission, Pueblo)**

Characterized by tile roofs, stucco walls and round-arched windows and doorways. House forms vary; however they are based on a rectangular floor plans. Ornamentation can range from simple to dramatic, and may draw from a number of Mediterranean references.



<b>(SE) Spanish Eclectic: Table 211.7.11 Required minimum standards for construction or any addition over 5% of usable floor area.</b>	
Finished floor elevation (in addition to FEMA requirements)	At least 18"
Porch Location	Front
Porch Width (minimum to maximum)	3' to 8'
Porch Depth	At least 5'
Roof Pitch	flat or pitched (varies)
Details	Stucco wall surfaces, flat or low-pitched terra cotta and tile roofs, arches, scrolled or tile-capped parapet walls and articulated door surrounds; balcony and window grilles are common
Garage	Not typically attached; if attached, vehicle entrance must recessed at least 5' from principal façade).
Carport (porte cochere)	Flat or low-slope roof; single-car width



(Ord. No. 2014-87, § 2, 9-18-2014)

**Sec. 27-211.8. Schedule of permitted uses by district.**

Table 25-1 sets forth the permitted, special, and accessory uses by zoning district. All lands within the Greater Seminole Heights area shall adhere to this table. Any uses not listed shall be subject to zoning administrator review, pursuant to section 27-59.

<b>Table SH-25.1: Table of Uses; Permit Requirements</b>								
<i>Use (listed by subcategory)</i>	<i>District</i>	<i>SH-RS</i>	<i>SH-RS-A</i>	<i>SH-RM</i>	<i>SH-RO</i>	<i>SH-CN</i>	<i>SH-CG</i>	<i>SH-CI</i>
<b>Residential</b>								
Accessory dwelling		S1	S1	S1	S1		S1	S1
Bed & Breakfast				S1	X	X	X	X
Congregate living facility, 6 or few residents [1]		X	X	X	X	X	X	X
Congregate living facility, large				S1 [3]	S1 [3]	X [3]	X	
Congregate living facility, small		S1	S1	S1	S1	S1	X	
Home daycare (# of pupils per F.S.)		X	X	X	X	X	X	X
Home occupation		X	X	X	X	X	X	X
Multi-family				X	S1	S1	S1	S1
Professional residential facility								
- Recovery Home A				S2		S2	S2	S2
- Recovery Home B				S2		S2	S2	S2
- Residential treatment				S2		S2	S2	S2
- Life care treatment				S2		S2		
Single-family detached[8]		X	X	X	X		S1	S1
Single-family attached, semi-detached, two-family			X	X	X	S1	S1	S1
<b>Office/Private Institutional</b>								
Business/professional office					X	X	X	X
Clinic						X	X	X
Daycare facility		S2	S2	S1	S1	X	X	X
Hospital						X	X	X
Private cultural facility						X	X	X
Medical office					X	X	X	X
Private school								
- Elementary, Middle (junior high), Secondary (senior high)		S2	S2	X	X	X	X	X
- Technical/vocational						X	X	X
- University						X	X	X
Veterinary office							X	X
<b>Governmental Public Institutional</b>								
Public service facility		S2	S2	S2	S2	S2	X	X
Public use facility		X	X	X	X	X	X	X
Public cultural facility						X	X	X
Public School								
- Elementary, Middle (junior high), Secondary (senior high)		S2	S2	X	X	X	X	X
- Technical/vocational						X	X	X
- Community college/college						X	X	X
- University						X	X	X
<b>Recreation</b>								
Community Garden		S1	S1	S1	X	X	X	X
Recreational Facility, private		S1	S1	S1	S1	X	X	X
Recreational facility, commercial							X	X
<b>Assembly</b>								
Place of assembly[2]							X	X

Table SH-25.1: Table of Uses; Permit Requirements								
Use (listed by subcategory)	District	SH-RS	SH-RS-A	SH-RM	SH-RO	SH-CN	SH-CG	SH-CI
Places of religious assembly		S2	S2	S2	S2	X	X	X
<b>Commercial</b>								
Alcoholic beverage sales—Craft distillery retail (package only)							S1/S2 <sup>14</sup>	S1/S2 <sup>14</sup>
- Bar, lounge, nightclub							S2	S2
- Bowling alley with 12+ lanes (on premises only)							S1/S2 [5]	S1/S2/[5]
- Convenience retail (package only)							S1/S2 [5]	S1/S2 [5]
- Craft distillery retail (package only)							S1/S2 <sup>14</sup>	S1/S2 <sup>14</sup>
- Gasoline retail (package only)							S1/S2 [5]	S1/S2 [5]
- Hotel with 100+ rooms (on premises only)							S1/S2 [5]	S1/S2 [5]
- Large venue (on premises/package)							S2	S2
- Restaurant (on premises only)							S1/S2 [5]	S1/S2 [5]
- Shopper's goods retail (package only)							S1/S2 [5]	S1/S2 [5]
- Small venue (on premises/package)							S2	S2
- Sidewalk café (on premises only)							S1	S1
- Special restaurant (on premises only)							S1/S2 [5]	S1/S2 [5]
- Specialty retail (package only)							S1/S2 [5]	S1/S2 [5]
- Temporary (on premises only)		S1	S1	S1	S1	S1	S1	S1
Appliance and equipment repair							X	X
Bank						X	X	X
Catering shop						X[11]	X[11]	X
Commercial kitchen						X[11]	X[11]	X
Craft distillery								X
Drive-in window						S1	S1	S1
Dry cleaning, large								X
Dry cleaning, small							X	X
Funeral parlor						X	X	X
Hotel/motel						X	X	X
Kennel, large[7]								X
Kennel, small[6]							X	X
Light manufacturing								X
Medical/dental laboratory						X	X	X
Medical marijuana dispensary [10]						X	X	X
Microbrewery							X	X
Production limits: Up to 60,000 barrels annually							X	X
Production limits: >60,000 up to 200,000 barrels annually[9]							X	X
Mini-warehouse								X
Open storage as an accessory use								X
Personal Services					X	X	X	X
Pharmacy						X	X	X
Printing, light							X	X
Restaurant						X	X	X
Retail								
Bakery						X[11]	X[11]	X
Convenience/Specialty						X	X	X
Gasoline/Lawn and garden						S1	X	X
Shopper's							X	X
Utility transmission site		S2	S2	S2	S2	S2	S2	S2
Vehicle repair, major								X
Vehicle repair, minor							X	X
Vehicle sales and leasing								X

<b>Table SH-25.1: Table of Uses; Permit Requirements</b>								
<i>Use (listed by subcategory)</i>	<i>District</i>	<i>SH-RS</i>	<i>SH-RS-A</i>	<i>SH-RM</i>	<i>SH-RO</i>	<i>SH-CN</i>	<i>SH-CG</i>	<i>SH-CI</i>
Vendors, all types						S1	S1	S1
Warehouse								X
Wholesale trade								X
<b>Mixed Use [4, 11]</b>								
Storefront, residential-office/private institutional					X	X	X	X
Storefront, residential-office/public institutional					X	X	X	X
Storefront, residential-commercial							X	X
Storefront, residential-assembly					S1	X	X	X
Storefront, residential-recreation		S1	S1	S1	S1	X	X	X
Notes:								
[1] In the RS, RS-A, and RM districts congregate living facilities of 6 or fewer residents shall maintain 1000' distance separation from each other.								
[2] For purposes of this section, "Place of assembly" includes "club," as defined in Sec. 27-43.								
[3] Use only permitted in future land use category R-35 and those more dense/intense.								
[4] Specific allowed storefront uses are listed by subcategory in this table.								
[5] Refer to Article II, Division 5 Special Use Permits and IX Alcoholic Beverages for applicable provisions. Requests may process as an administrative special use permit (S-1) only when sales meet the specific use standards in section 27-132(a). If any waivers are needed, the request shall process as an (S-2), per applicable requirements of section 27-132(a) and (b).								
[6] Refer to section 27-282.25 for applicable provisions.								
[7] Refer to section 27-282.26 for applicable provisions.								
[8] Refer to section 27-282.28 for applicable provisions.								
[9] Development sites (zoning lots) for these production limits must contain at least two (2) acres of land.								
[10] Refer to section 27-282.29 for supplemental regulations related to this use. Any request to reduce distance requirements set forth in this section, shall be processed as a special use-2 permit (refer to article II, division 5). Requirements of this section shall serve as supplemental special use criteria (refer to section 27-132).								
[11] Refer to section 27-292.20 regulations for specified uses.								

(Ord. No. 2013-73, § 9, 6-6-2013; Ord. No. 2013-101, § 4, 7-18-2013; Ord. No. 2015-10, § 6, 1-15-2015; Ord. No. 2015-110, § 5, 11-5-2015; Ord. No. 2017-132, § 10, 8-24-2017; Ord. No. 2018-176, § 8, 11-1-2018)

**Sec. 27-211.9. Historic Preservation.**

In addition to adherence to the overlay standards for the Greater Seminole Heights Area, all development within the Seminole Heights Historic District shall adhere to the provisions of Article II, Division 4.

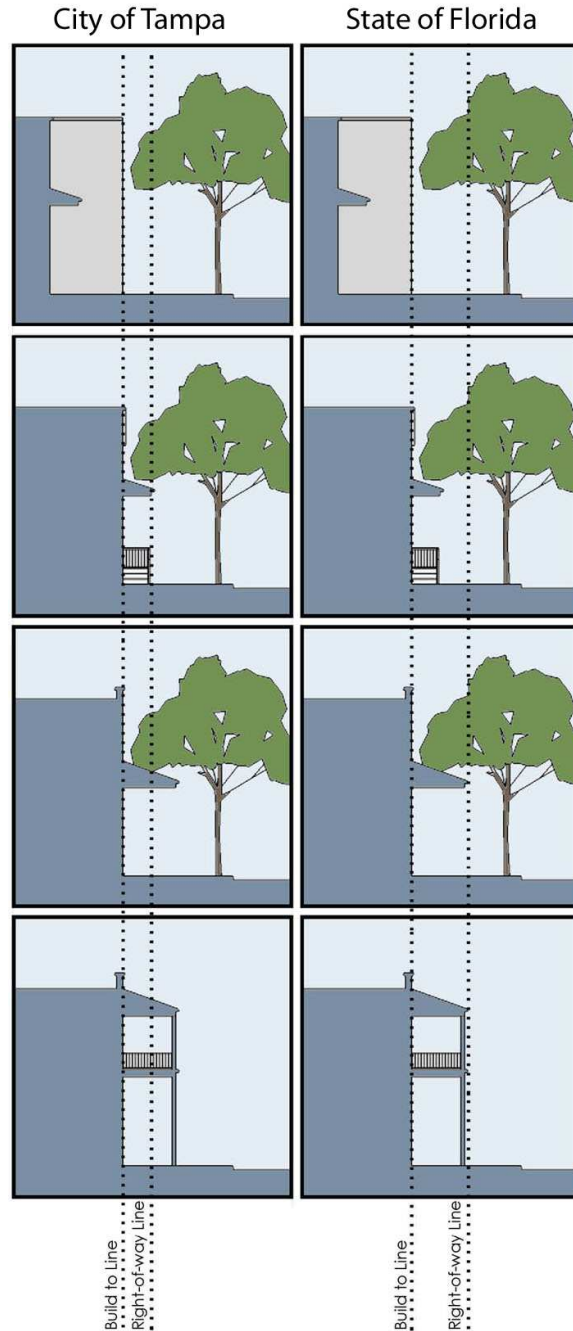
**Sec. 27-211.10. Frontage types and other supplemental regulations.**

**Courtyard:** The main façade of the building is placed at the build-to line and a percentage of it is set back (no more than 50%), creating a small court space. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage type should be used sparingly and should not be repeated within a block. A short wall (no taller than 3' above grade, hedge, or fence shall be placed along the undefined edge.

**Stoop:** The main façade of the building is placed at the build-to line and the elevated stoop engages/ interfaces with the sidewalk. If stairs are used to elevate stoop, the stoop may lead directly to the sidewalk or may be side loaded. The minimum width and depth of the stoop shall be 5 feet. This type is appropriate for residential, non-residential and/or mixed use, subject to appropriate ADA requirements.

**Awning, canopy:** A frontage wherein the façade is placed at the build-to line with the building entrance at sidewalk grade. This type is conventional for retail/commercial use. It has a substantial glazing/ transparency on the sidewalk/pedestrian level and an awning or canopy that may overlap the sidewalk to the maximum extent possible.

**Arcade:** A frontage wherein the façade is a colonnade that overlaps the sidewalk, while the façade at sidewalk level remains at the build-to line. This type is conventional for retail/commercial uses. The arcade shall be no less than 8 feet in depth and may overlap the whole width of the sidewalk within 2 feet of the curb, as permitted by law.



(a) All development shall be required to comply with the applicable development standards set forth in this article and article IV, division 1, article VI, divisions 2 and 3 for standards affecting (but not limited to) parking, solid waste enclosure, fences and walls, screen enclosures, air conditioner/mechanical equipment location, tents, etc.

(b) As of August 30, 2001, pursuant to Ord. No. 2001-192, chain link fences for residential development are prohibited in the district. As of the date of this ordinance, any new chain link fence for non-residential development shall be black, vinyl-coated, and limited to 4' in height along all public rights-of-way (excluding alleys).

**Sec. 27-211.11. Signs.**

All signs shall comply with Article VI, Division 6 Signs.  
(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011)

**Sec. 27-211.12. Parking design and access management.**

(a) *Applicable parking ratios by use:*

<b>Table 211.12</b>	<b>Ratio (spaces per unit of measurement; these rates equate to maximum parking spaces permitted on site) [1,7]</b>
<b>Use (listed by subcategory)</b>	
<b>Residential</b>	
Single-family detached	2/unit
Single-family attached	2/unit
Multi-family	1/unit studio & 1-bedroom 1.5/unit 2-bedroom 2/unit 3-bedroom
<b>Office, Private Institutional</b>	
Bank	3/1000 SF (UFA)
Museum	2/1000 SF (UFA)
Office, business-professional	3/1000 SF (UFA)
Office, medical	5/1000 SF (UFA)
Storefront, residential-office/private institutional	Ratio per non-residential use +1/unit
<b>Governmental/Public Institutional</b>	
Public use facility	3/1000 SF (UFA)
Public cultural facility	2/1000 SF (UFA)
<b>Recreation/Assembly</b>	
Private/commercial recreational facility	4/1000 SF (UFA)
Place of assembly	0.3/fixed seat or 10/1000 SF (UFA)
<b>Commercial</b>	
Medical marijuana dispensary	4/1000 SF (UFA)
Retail/Shopper's/gasoline/convenience retail	4/1000 SF (UFA)
Specialty retail	1/1000 SF (UFA)
Restaurant, stand along (>=120 occupants)	0.25/person (life safety code)
Restaurant, stand along (< 120 occupants)	6/1000 SF (UFA)
Retail bakery/catering shop	4/1000 SF (UFA)
Storefront, residential-commercial	Ratio per non-residential use +1/unit

<b>Table 211.12</b>	<b>Ratio (spaces per unit of measurement; these rates equate to maximum parking spaces permitted on site) [1,7]</b>
<p>Notes: ([3, 4] &amp; [6, 7] are cumulative and may be combined (60% maximum reduction); or, [5] may be combined with [6, 7] (45% maximum reduction)</p> <p>[1] UFA means "usable floor area".</p> <p>[2] Reuse of existing structures, with no increase in intensity (including restaurants with less than 100 occupant load, medical office with less than 3,000 square feet), and no increase in UFA, shall not be required to provide additional parking to meet the standards set forth in this table above. Uses specifically excluded from this method of parking reduction are bars, places of assembly, and vehicle sales and/or repair.</p> <p>[3] Reuse of existing structures up to 10,000 square feet including additions thereto, shall be eligible for a reduction in required parking, for all uses, up to a maximum of 25% of the required amount.</p> <p>[4] Developments that mix 3 or more uses (establishments) within a common building, shall be eligible for a 15% reduction in total required parking. Uses specifically excluded from this method of parking reduction are bars, places of assembly, and vehicle sales and/or repair.</p> <p>[5] Construct on-street parking (non-dedicated &amp; within the public right-of-way) immediately adjacent to subject property for up to 25% of required spaces.</p> <p>[6] Up to 10% of required parking may be off-set with the installation of bicycle racks at a rate of 1 vehicle stall = 5 bicycle slots.</p> <p>[7] Up to 10% of required parking may be off-set with the installation of motorcycle parking measuring 4' x 8'.</p>	

(b) *Parking Layout.*

(1) *Perpendicular spaces (90 degrees)*

Standard parking space dimension:

8' x 18'

Drive aisle dimension:

24' (two-way: cars stacked on either side)

10-12' (one-way)

(2) *Angled spaces (45 degrees)*

Standard parking space dimension:

Adhere to compact space dimensions set forth in Article VI, Division 3

Drive aisle dimension:

24' (two-way: cars stacked on either side)

10-12' (one-way)

(3) *Parallel spaces (0 degrees).*

Parking space dimension:

8' x 22' (interior spaces)

8' x 20' (end spaces)

(c) *Materials.* Alternative materials may be considered pursuant to the procedure set forth on section 27-60.

(d) *Access.* Access to non-residential parking areas may be located on local streets within and placed no further than 100' of the intersection with an arterial or collector roadway.

(e) *Loading.* Required loading shall adhere to section 27-238.15

(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011; Ord. No. 2017-132, § 11, 8-24-2017; Ord. No. 2018-176, § 9, 11-1-2018)

**Sec. 27-211.13. Landscaping.**

(a) *General purpose.* Preservation of the urban canopy within the Greater Seminole Heights area is not only an invaluable asset to the area

residents and businesses' it is a vital part of the City's natural resources. This section provides a diverse and well-suited list of trees for new plantings, while defining appropriately-sized planting areas within parking areas and along property perimeters.

(b) *Applicability.* All development shall adhere to the requirements set forth below, and with article VI, division 4, as applicable. The standards set forth below supersede the tree planting requirements of section 27-284.3.3.

(c) *Technical Manual.* All development shall adhere to the tree preservation and construction methods of the Tree and Landscape Technical Manual.

(d) *Tree preservation and removal.* All development shall preserve, relocate, and/or remove protected and grand trees in accordance with article VI, division 4, subdivisions 2 through 4.

(e) *Required plantings (all landscape materials).* In cases of conflict between the general and parking area landscaping, the most restrictive standard applies.

(1) General site landscaping standards: all development (not including single-family detached, -attached, -semi-detached, or two-family) shall comply with development standards set forth below:

<b>Table 211.13.1 (Key)</b>	
See also Section 27-43 Definitions	<b>F:</b> Front <b>R:</b> Rear <b>SS:</b> Side (Street) <b>SI:</b> Side (Interior) <b>UFA:</b> Usable floor area <b>VUA:</b> Vehicular use area <b>LI:</b> Landscaped Island <b>OC:</b> On center
<b>General Site Landscaping</b>	
<b>Required Plantings [1, 3, 4, 5]</b>	
F	- (1) Type 1 or 2 tree at 40' OC [5] - Low-water ground cover (no sod) [2]
SS	- (1) Type 1 or 2 tree at 30' OC - Low-water ground cover (no sod) [2]
SI	
Adjacent to/separated by alley from single-family, two-family residential use	- (1) hedge at 3' OC - Low-water ground cover (no sod) - 6' fence or wall (material & height governed by section 27-290.1)
R	
Adjacent to/separated by alley from single-family, two-family residential use	- (1) "medium" Type 1, 2 or 3 tree at 20' OC - Low-water ground cover (no sod) - 6' wall (material and height governed by section 27-290.1)
- Adjacent to any other use (no alley)	- (1) hedge at 3' OC - Low-water ground cover (no sod)
- Adjacent to any other use (separated by alley)	- (1) hedge at 3' OC - Low-water ground cover (no sod)
<b>Notes:</b>	
[1] Refer to City of Tampa Tree Matrix (refer to section 27-284.1.1) for allowable species, required planting sizes, required planting methods, and general landscaping regulations.	
[2] To be used in locations where no pavement or walkways are located.	
[3] Required compliance for new construction; required compliance if expansion of UFA is a minimum of twenty-five (25) percent of existing UFA.	
[4] If expanding VUA, required compliance for newly expanded area.	
[5] Type 2 or 3 species, designated for planting in proximity to overhead electrical lines, may be planted in lieu of required type(s), where such lines are present (refer to section 27-284.3.3).	

(2) Parking area landscaping (vehicular use area as defined in section 27-43) standards. All development shall comply with development standards set forth below:



<b>Table 211.13.2 (Key)</b>				
See also section 27-43 <i>Definitions</i>	<b>F:</b> Front <b>R:</b> Rear	<b>SS:</b> Side (Street) <b>SI:</b> Side (Interior)	<b>UFA:</b> Usable floor area <b>VUA:</b> Vehicular use area	<b>LI:</b> Landscaped Island <b>OC:</b> On center
<b>Parking Area Landscaping</b>				
<b>Required Plantings [1, 3, 4, 5]</b>				
F	<ul style="list-style-type: none"> <li>- (1) Type 1 or 2 tree at 30' OC</li> <li>- (1) hedge at 3' OC</li> <li>- Low-water ground cover (no sod) [2]</li> </ul>			
SS	<ul style="list-style-type: none"> <li>- (1) Type 1 or 2 tree at 30' OC</li> <li>- (1) hedge at 3' OC</li> <li>- Low-water ground cover (no sod) [2]</li> </ul>			
SI				
Adjacent to/separated by alley from single-family, two-family residential use	<ul style="list-style-type: none"> <li>- (1) hedge at 3' OC</li> <li>- Low-water ground cover (no sod)</li> <li>- 6' fence or wall (material &amp; height governed by section 27-290.1)</li> </ul>			
R				
Adjacent to/separated by alley from single-family, two-family residential use	<ul style="list-style-type: none"> <li>- (1) "medium" Type 1, 2, or 3 tree at 20' OC</li> <li>- Low-water ground cover (no sod)</li> <li>- 6' wall (material and height governed by section 27-290.1)</li> </ul>			
Adjacent to any other use (no alley)	<ul style="list-style-type: none"> <li>- (1) hedge at 3' OC</li> <li>- Low-water ground cover (no sod)</li> </ul>			
Adjacent to any other use (separated by alley)	<ul style="list-style-type: none"> <li>(1) hedge at 3' OC</li> <li>- Low-water ground cover (no sod)</li> </ul>			
LI	<ul style="list-style-type: none"> <li>- 9' x 18' typical to match parking layout</li> <li>- (1) every 10 parking spaces on average</li> <li>- (1) "medium" or "large" Type 1, 2, or 3 tree per LI</li> <li>- low-water ground cover (no sod) [2]</li> </ul>			
<b>Notes:</b>				
[1] Refer to City of Tampa Tree Matrix (refer to section 27-284.1.1) for allowable species, required planting sizes, required planting methods, and general landscaping regulations.				
[2] To be used in locations where no pavement or walkways are located.				
[3] Required compliance for new construction; required compliance if expansion of UFA is a minimum of twenty-five (25) percent of existing UFA.				
[4] If expanding VUA, required compliance for newly expanded area.				
[5] Type 2 or 3 species, designated for planting in proximity to overhead electrical lines, may be planted in lieu of required type(s), where such lines are present (refer to section 27-284.3.3).				

(3) *Acceptable planting materials.* Tree selection shall be made from the City Tree Matrix (refer to section 27-284.1.1).

- a. Shade species planting standards:
  - 1. Shall comply with applicable standards set forth in article VI, division 4;
  - 2. Minimum four-foot caliper at time of planting.

b. Understory species planting standards (refer to section 27-284.3.3 for specific requirements for trees and above ground electrical lines):

- 1. Shall comply with applicable standards set forth in article VI, division 4;
- 2. Minimum three-foot caliper at time of planting.

(Ord. No. 2011-45, § 1(Exh. B), 3-24-2011; Ord. No. 2019-54, § 30, 4-18-2019)

**Sec. 27-211.14. Public Realm.**

(a) *General purpose and compliance.* The requirements of this section apply to all new streets and to those that may be modified, reconstructed, or retro-fitted. Inclusion of wider sidewalks, bicycle lanes, tree plantings, and narrowed travel lanes shall be a priority and shall be incorporated into all phases of design for improvement of the area.

(b) *ROW Permitting.* (refer to Chapter 22)

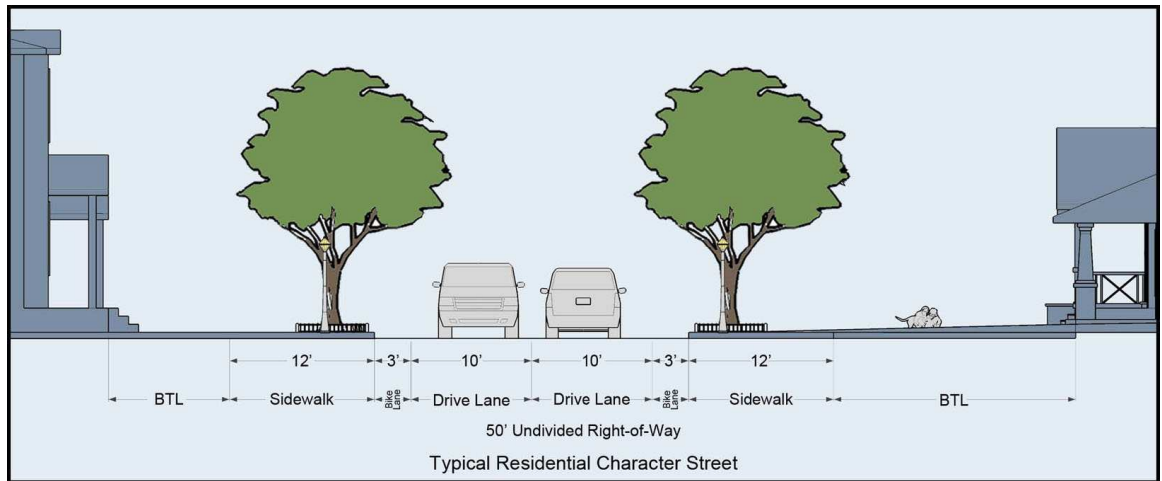
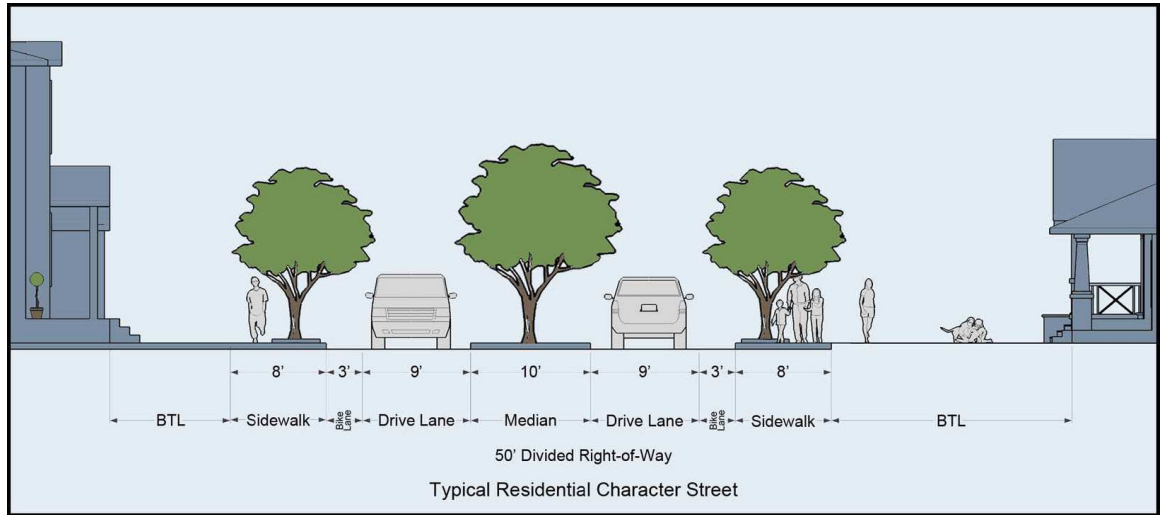
(c) *Typical street sections.* The Greater Seminole Heights area contains a defined and open street grid of varying right-of-way widths with both local and state roads. The following are typical street cross sections that shall apply to new streets and to any future improvements (either public or private as noted in (a) above):

**Graphic 27-211.14.1**  
39' ROW - Typical

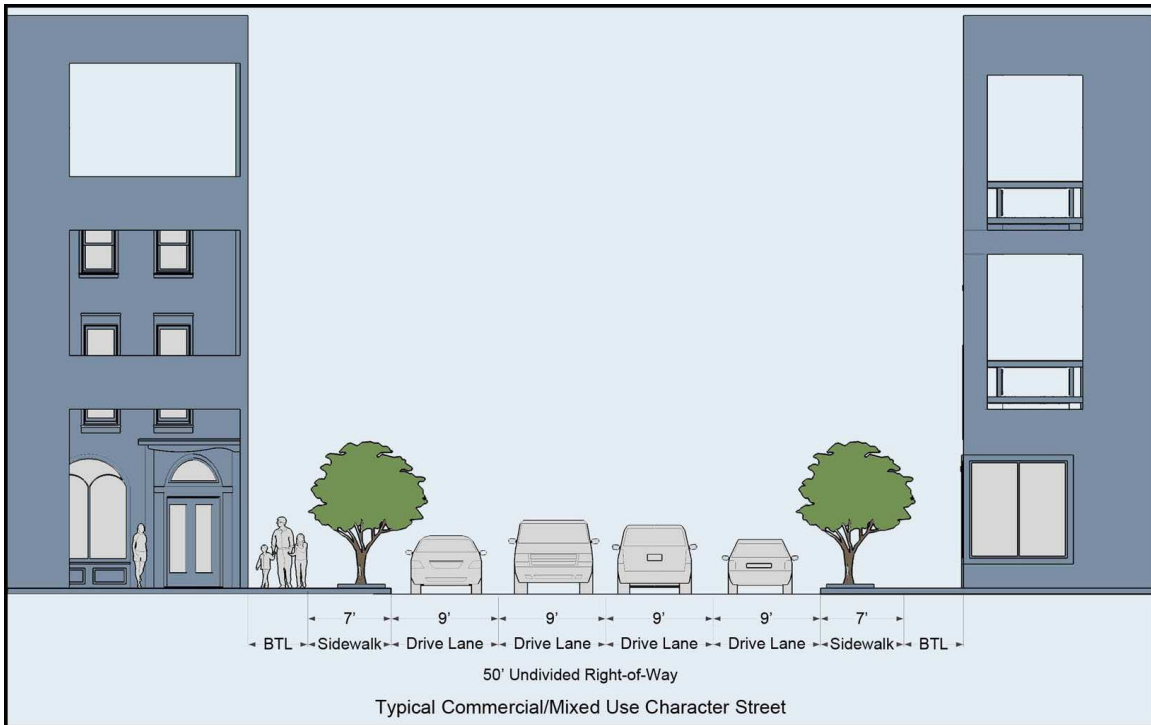
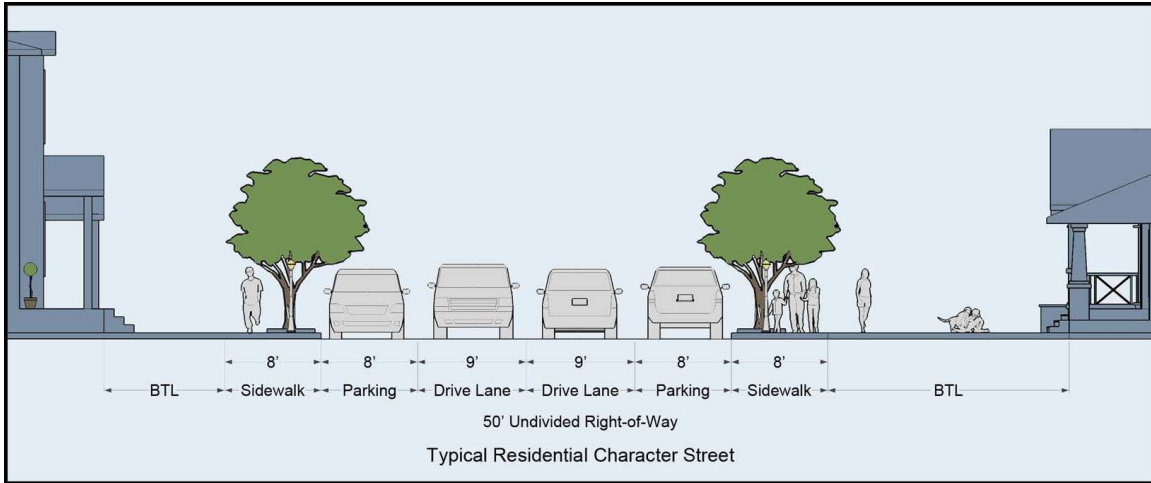




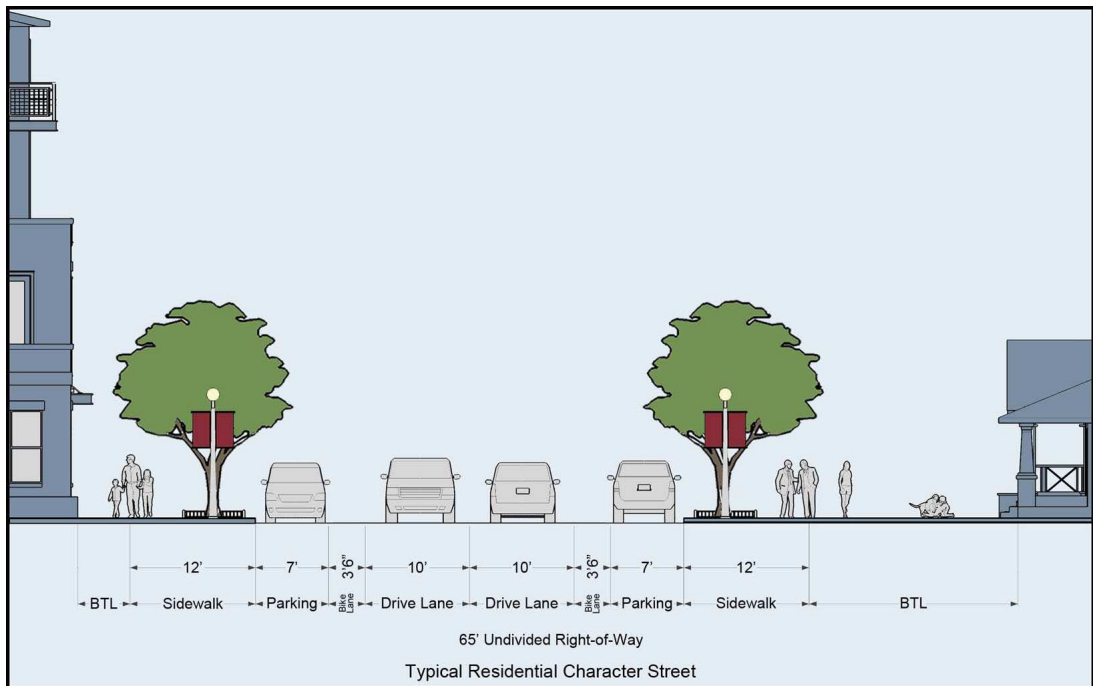
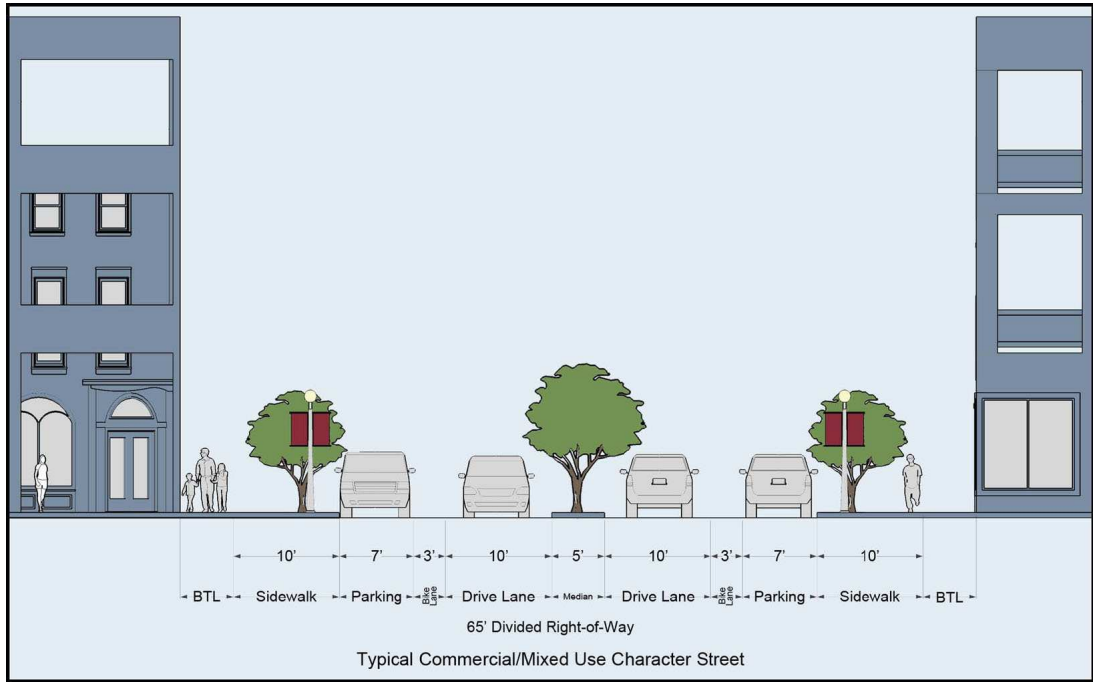
**Graphic 27-211.14.2**  
50' ROW - Typical



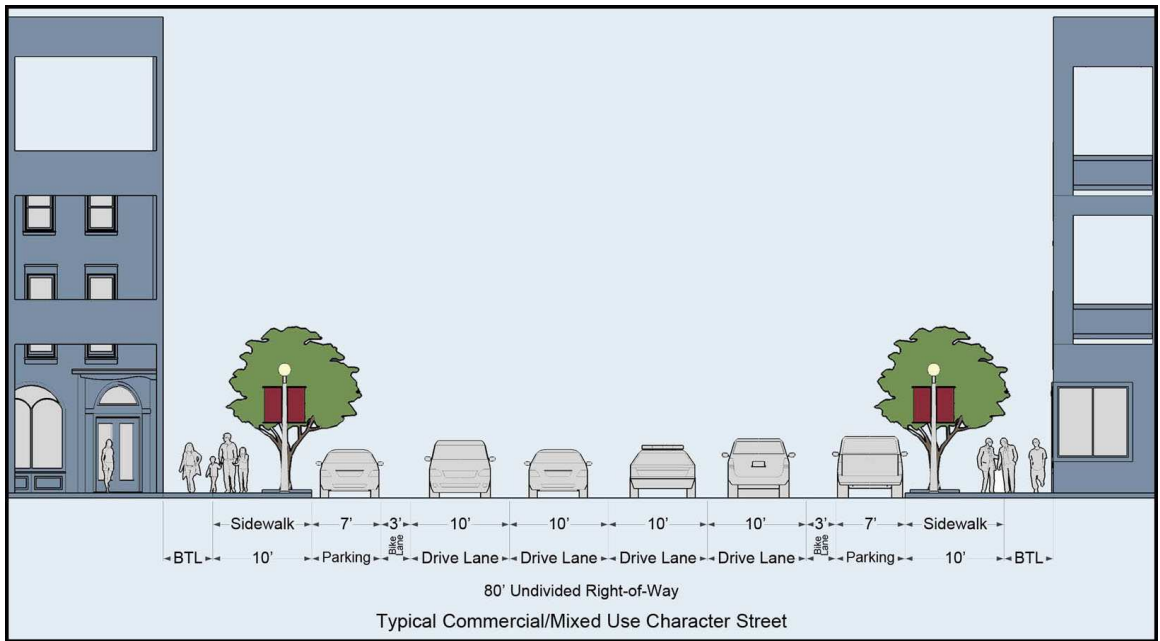
**Graphic 27-211.14.3**  
50' ROW - Typical



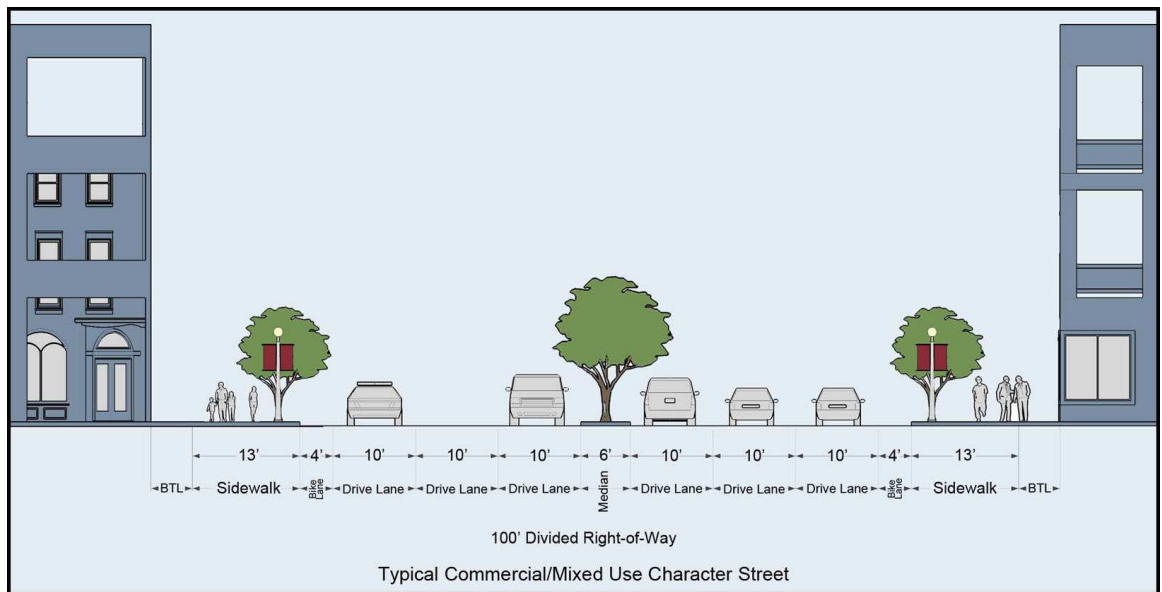
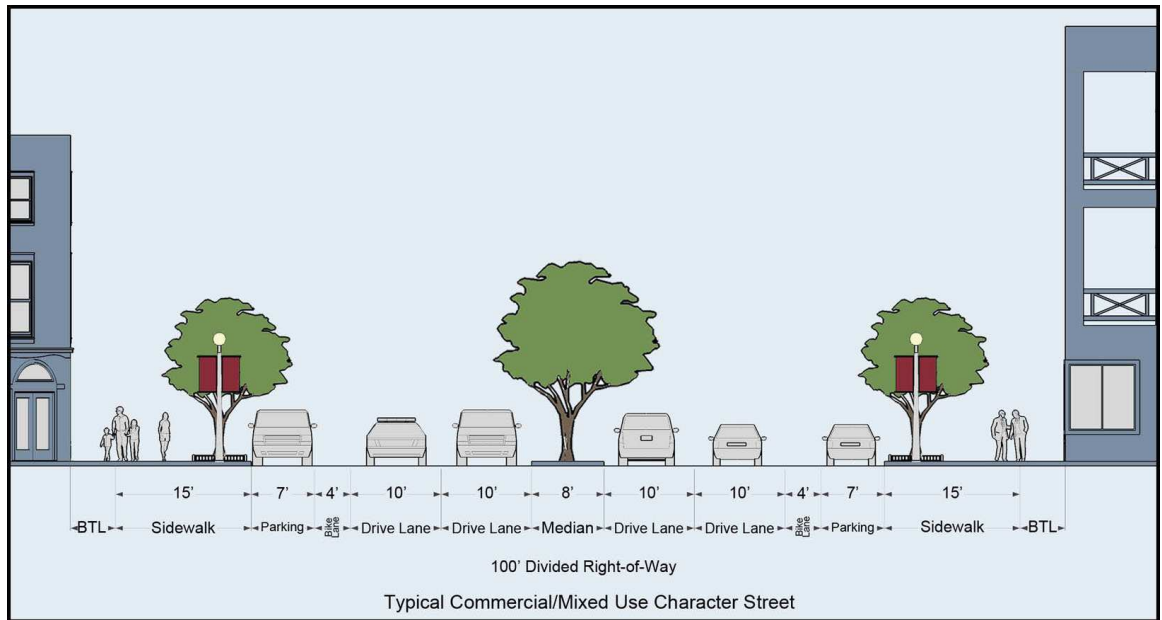
**Graphic 27-211.14.4**  
65' ROW - Typical



**Graphic 27-211.14.5**  
80' ROW - Typical



**Graphic 27-211.14.6**  
100' ROW - Typical





(d) *Streetscape.* Landscape materials (tree plantings) are subject to Transportation Division approval and shall adhere to the list provided in section 27-211.13.

(e) *Traffic calming.* (Refer to Greater Seminole Heights Vision Plan. Additionally, acceptable forms of traffic calming include: on-street parking, bicycle lanes, wider sidewalks, right-of-way landscaping and tree planting, traffic circles, chicanes, roundabouts, signalized ped- and bike crossings, and adjustments to signal timing. All forms may be considered and are subject to the review and approval of the Transportation Division pursuant to the Transportation Technical Manual.

(f) *Signs.* (refer to Article VI, Division 6 and Chapter 22)

(g) *Encroachments, Sidewalk cafés.* (Refer to Chapter 22 and sec. 27-132 respectively; however, encroachments of awnings, canopies, and arcades may be reviewed and approved administratively pursuant to the ROW permitting process within City rights-of-way.)

**Sec. 27-211.15. Greater Seminole Heights Bonus; methodology and calculation; list of bonus amenities.**

*Compliance.* All developments that seek density/intensity bonuses within the defined area boundary shall adhere to the regulations set forth in section 27-140. Unless otherwise permitted by this chapter, developments that have been granted bonuses shall not be granted any further increase in floor area, unit count, or building height so as to exceed the maximum threshold set forth in the Tampa Comprehensive Plan. (Ord. No. 2016-58, § 9, 4-21-2016)

*Subdivision 6. Neighborhood Mixed Use Districts*

**Sec. 27-212. The Neighborhood Mixed Use (NMU) Districts; applicability.**

(a) *Applicability.* The Neighborhood Mixed Use Districts (-16, -24, -35) are only permitted within the boundaries of a designated Urban Village, as set forth in the Tampa Comprehensive Plan.

(b) *Purpose.* The purpose and intent of this subdivision is to ensure that all development is compatible in form, building and structural orientation, general site layout, height, lot dimensional requirements and other site spatial relationships to the precedent within the established block and generally, the surrounding area. Furthermore, it is the purpose and intent of the Tampa Comprehensive Plan, and of this subdivision, which aids in implementing it, to promote the public health, safety, comfort, amenities, prosperity, and general welfare of the city; and to provide, among other matters, a wholesome, serviceable, and attractive community; to help foster a more favorable environment in which to live, work, and play; to ensure that there is a seamless integration between private property and the public realm; to regulate the use, construction and maintenance of the public realm (including but not limited to streets, alleys, sidewalks, street lights); to regulate the use and development of land; to provide regulations, which allow and encourage creativity, effectiveness, and flexibility in the design and use of land while promoting traffic safety and avoiding an environment that encourages visual blight; to protect trees, wetlands, and natural resources by regulating the trimming or removing of trees, site clearing, landscaping, tree planting, and irrigation in the district.

(c) *Compliance.* All new construction, major renovation, and change of use shall be required to comply with the applicable development standards set forth in this subdivision. In addition to adhering to the applicable Neighborhood Mixed Use District standards, all development within the locally designated Historic District shall adhere to the provisions of article V, section 27-212.5. In cases of conflict, the standards set forth in this subdivision shall apply. For those development issues not addressed in this subdivision, the underlying requirements of this chapter and other applicable land development regulations of the Tampa City Code shall apply. (Ord. No. 2016-76, 3(Exh. A), 5-26-2016)

**Sec. 27-212.1. General administrative procedures.**

(a) Determination of uses not listed shall be reviewed according to the provisions of section 27-59.

(b) For those development issues not addressed in this subdivision, the underlying requirements of this chapter and other applicable land development regulations of the Tampa City Code shall apply.

(c) Alternative design exceptions to the standards set forth in the subdivision may be considered pursuant to section 27-60.

(d) Any person aggrieved by any order, requirement, decision, or determination of the zoning administrator with regard to these design standards may request review of that order, requirement, decision, or determination in accordance with section 27-61.

(e) Plan review shall be performed consistent with the applicable plan review procedure for special use, construction site plan, alternative design exception, and concurrency.  
(Ord. No. 2016-76, 3(Exh. A), 5-26-2016)

**Sec. 27-212.2. Establishment of the sub-districts and associated general land development regulations by sub-district.**

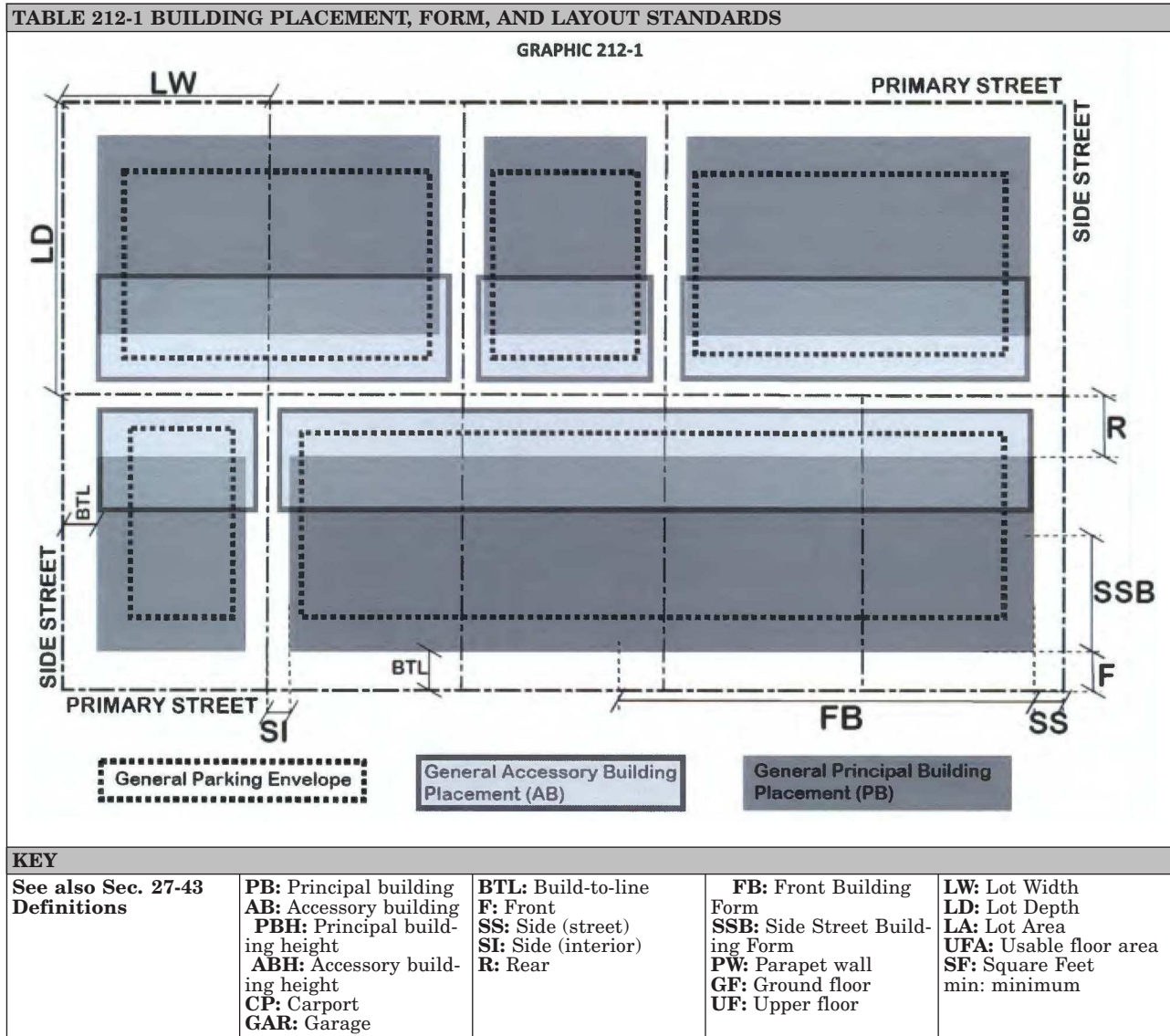
(a) *Sub-districts.* The following "NMU-16, -24, -35" (Neighborhood Mixed Use) sub-districts shall be the only zoning districts permitted within the Neighborhood Mixed Use land use categories, as set forth in the Tampa Comprehensive Plan (refer to section 27-156 for detailed descriptions):

- (1) *NMU-16:* Mixed use, neighborhood scale office and commercial, and all single-family dwelling types.
- (2) *NMU-24:* Mixed use, civic, neighborhood scale office and commercial, and all single-family and multi-family dwelling types.
- (3) *NMU-35:* Mixed use, civic, neighborhood scale office and commercial, and all single-family and multi-family dwelling types.

(b) Allowable, permitted, and prohibited uses are organized and listed by zoning district in Table 212-2.

(Ord. No. 2016-76, 3(Exh. A), 5-26-2016)

**Sec. 27-212.3. General development standards for Neighborhood Mixed Use-16, -24, -35 Districts.**



**TABLE 212-1 (continued) PLACEMENT, LAYOUT, FORM AND MISCELLANEOUS STANDARDS [10]**

**NEIGHBORHOOD MIXED USE-16 (NMU-16)**

**BUILDING [15]**

TYPE	BTL [1]		SETBACK [2, 12]		BUILDING FORM [13]		HEIGHT [3, 4]
	F	SS	SI	R	FB	SSB	
PB	15'—20'	10'—15'	5'	15'	35%	15%	35'
TYPE	SETBACK [2, 17]				N/A	N/A	25'
	F	SS	SI	R			
AB	60'	7'	3'	3'			

PARKING [6, 7, 8, 9]				USE [16]		LOT [14]	
YARD	SURFACE PARKING [5]	1-CAR GAR/CP [11]	>= 2-CAR GAR/CP [11]	GF	UF	MIN WIDTH	MIN AREA (SF)

TABLE 212-1 (continued) PLACEMENT, LAYOUT, FORM AND MISCELLANEOUS STANDARDS [10]							
F	15'	18'	18'	See Use Table 212-2	See Use Table 212-2	50'	5,000
SS	15'	18'	18'				
SI	3'	3'	3'				
R	8'	3'	3'				
MISCELLANEOUS STANDARDS [11]							
Minimum transparency for non-residential and/or mixed use facades along FB and SSB							35%
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade[8]							40%
NEIGHBORHOOD MIXED USE-24 (NMU-24)							
BUILDING [15]							
TYPE	BTL [1]		SETBACK [2, 12]		BUILDING FORM [13]		HEIGHT [3, 4]
	F	SS	SI	R	FB	SSB	
PB	15'—20'	10'—15'	5'	15'	40%	20%	60'
TYPE	SETBACK [2, 17]				N/A	N/A	25'
	F	SS	SI	R			
AB	60'	7'	3'	3'			
PARKING [6,7,8,9]				USE [16]		LOT [14]	
YARD	SURFACE PARKING [5]	1-CAR GAR/CP [11]	>= 2-CAR GAR/CP [11]	GF	UF	MIN WIDTH	MIN AREA
F	15'	18'	18'	See Use Table 212-2	See Use Table 212-2	60'	5,000
SS	15'	18'	18'				
SI	3'	3'	3'				
R	8'	3'	3'				
MISCELLANEOUS STANDARDS [11]							
Minimum transparency for non-residential and/or mixed use facades along FB and SSB							50%
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade[8]							50%
NEIGHBORHOOD MIXED USE-35 (NMU-35)							
BUILDING [15]							
TYPE	BTL [1]		SETBACK [2, 12]		BUILDING FORM [13]		HEIGHT [3, 4]
	F	SS	SI	R	FB	SSB	
PB	15'-20'	10'-15'	5'	15'	45%	25%	85'
TYPE	SETBACK [2, 17]				N/A	N/A	25'
	F	SS	SI	R			
AB	60'	7'	3'	3'			
PARKING [6, 7, 8, 9]				USE [16]		LOT [14]	
YARD	SURFACE PARKING [5]	1-CAR GAR/CP [11]	>= 2-CAR GAR/CP [11]	GF	UF	MIN WIDTH	MIN AREA
F	15'	18'	18'	See Use Table 212-2	See Use Table 212-2	60'	5,000
SS	15'	18'	18'				
SI	3'	3'	3'				
R	8'	3'	3'				
MISCELLANEOUS STANDARDS [11]							
Minimum transparency for non-residential and/or mixed use facades along FB and SSB							65%
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade[8]							50%
NOTES:							
[1] Build-to-line: required line/location at which the building wall shall be placed.							
[2] Setback: the line/location that sets the minimum distance at which the building wall may be placed.							
[3] Elevator/mechanical housing, steeples, flag poles, widow's walk, cupolas, other architecturally integrated design features: Exempt, except shall occupy no more than 25 percent of roof area.							
[4] PW ("parapet wall") up to 5' may be added above maximum height.							
[5] Parked vehicles shall park in properly sized parking spaces and wholly parked on the property, on an approved surface, but can be placed at a minimum 0' setback to any property line, for any single-family or multi-family townhouse-style use. (See Chapter 22 for minimum required setbacks for driveway flares).							

<b>TABLE 212-1 (continued) PLACEMENT, LAYOUT, FORM AND MISCELLANEOUS STANDARDS [10]</b>
[6] Parking: No driveway shall be constructed from the road to the front yard face of a single-family or multi-family townhouse style structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
[7] Setback is measured from leading edge and/or face of parking structure; may be reduced to 0' along interior lot lines only, for shared access and parking areas.
[8] Ribbon driveways: Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
[9] All non-residential uses shall place a minimum of 50% of onsite parking to the side or rear of the principal building.
[10] The Primary Street is the street with the highest functional classification. If all adjacent streets are same functional classification, the primary street shall be that one contiguous to that area of the lot that meets the definition of "front yard" as set forth in sec. 27-43.
[11] Structured parking (when applicable): Facades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.
[12] Reduction to 3' permitted for porte cochere.
[13] Minimum % of building façade (ground floor) shall be built at required BTL. Building facades along front BTL shall have functioning ground floor entrance. Rear-only facing buildings are prohibited.
[14] A lot of record established prior to July 1, 2016, shall be allowed to develop, subject to the regulations set forth in this subdivision.
[15] Building separation as set forth in Building/Life Safety Code.
[16] Mixed use developments shall mix uses vertically in common structure(s) and shall place non-residential uses on the ground floor. To qualify as 'mixed use,' there shall be at least two (2) distinct uses within a common structure.
[17] For non-residential and mixed use development, accessory building (AB) minimum setbacks shall be 20' for "F" and 15' for "SS".

(Ord. No. 2016-76, 3(Exh. A), 5-26-2016)

**Sec. 27-212.4. Schedule of allowable, permitted, and prohibited uses by district.**

Table 212-2 sets forth the permitted, special, and accessory uses by zoning district. All lands within the Neighborhood Mixed Use District shall adhere to this table. Any uses not listed shall be subject to zoning administrator review, pursuant to sec. 27-59.

<b>Table 212-2 TABLE OF USES; PERMIT REQUIREMENTS; REQUIRED PARKING RATIOS BY USE</b>				
Use (listed by subcategory)	District			Required Off-Street Parking Spaces (minimum ratios by use) [A-L]
	NMU-16	NMU-24	NMU-35	
<b>RESIDENTIAL USES</b>				
Accessory dwelling	S1	S1	S1	[K]
Bed & Breakfast	X	X	X	1/lodging unit
Cemetery	X	X	X	1/employee
Congregate living facility (6 or fewer residents) [1]	X	X	X	2/dwelling unit
Congregate living facility, large		S1[3]	X[3]	1/employee on largest shift, plus 0.17/resident
Congregate living facility, small	S1	S1	S1	2/dwelling unit
Home daycare (# of pupils per F.S.)	X	X	X	[K]
Home occupation	X	X	X	[K]
Hotel (75-150 rooms ONLY)			X	1/room, plus 0.5/employee
Multi-family	X	X	X	1/efficiency [I] 1.5/1-2 bedrooms [I] 2/3 or more bedrooms [I]
Private pleasure craft used as residence	S2	S2	S2	2/dwelling unit
Professional residential facility				
Recovery Home A	S2	S2	S2	1/employee on largest shift
Recovery Home B		S2	S2	1/employee on largest shift
Residential treatment		S2	S2	1/employee on largest shift, plus 1/each facility vehicle

<b>Table 212-2 TABLE OF USES; PERMIT REQUIREMENTS; REQUIRED PARKING RATIOS BY USE</b>				
Use (listed by subcategory)	District			Required Off-Street Parking Spaces (minimum ratios by use) [A-L]
	NMU-16	NMU-24	NMU-35	
Life care treatment		S2	S2	1/employee on largest shift, 0.17/ resident
Senior housing (any unit type)	X	X	X	1/dwelling unit [J]
Single-family detached	X	X	X	2/dwelling unit
Single-family attached, semi-detached, two-family	X	X	X	2/dwelling unit
<b>OFFICE USES</b>				
Business/professional office	X	X	X	3/1000 SF (UFA)
Clinic	X	X	X	6/1000 SF (UFA)
Medical, veterinary office	X	X	X	5/1000 SF (UFA)
<b>PRIVATE INSTITUTIONAL USES</b>				
Club	X	X	X	3/1000 SF (UFA)
Daycare facility	X	X	X	1/employee, plus 1/each facility vehicle
Place of religious assembly	X	X	X	0.3/seat
Private cultural facility	X	X	X	3/1000 SF (UFA)
Private school				
Elementary, Middle (junior high)	X	X	X	1.6/classroom
Secondary (senior high)	X	X	X	0.19/student
<b>PUBLIC INSTITUTIONAL USES</b>				
Public service facility	S1	S1	S1	1/employee
Public use facility	X	X	X	3/1000 SF (UFA)
Public cultural facility	X	X	X	2/1000 SF (UFA)
Public school				
Elementary, Middle (junior high)	X	X	X	1.6/classroom
Secondary (senior high)	X	X	X	0.19/student
<b>RECREATIONAL, ASSEMBLY USES</b>				
Community garden	S1	S1	S1	1/10 individual garden plots/beds
Dance studio	X	X	X	3/1000 SF (UFA)
Place of assembly			X	0.3/fixed seat or 10/1000 SF (UFA)
Recreational facility, private	S1	X	X	4/1000 SF (UFA)
Recreational facility, commercial			X	4/1000 SF (UFA)
Temporary special event [2]	X	X	X	0.25/participant [L]
<b>OTHER COMMERCIAL AND NON-RESIDENTIAL USES</b>				
Alcoholic beverage sales				
Convenience retail (package only) [5]	S1/S2	S1/S2	S1/S2	[H]
Gasoline retail (package only) [5]	S1/S2	S1/S2	S1/S2	
Hotel (100+ rooms) (on premises only) [5]	S1/S2	S1/S2	S1/S2	
Restaurant (on premises only)	S2	S2	S2	
Sidewalk café (on premises only)	S1	S1	S1	
Small venue (on premises/package)	S2	S2	S2	
Special restaurant (on premises only) [5]	S1/S2	S1/S2	S1/S2	
Specialty retail (package only) [5]	S1/S2	S1/S2	S1/S2	
Temporary (on premises only)	S1	S1	S1	
Bank	X	X	X	
Catering shop	X	X	X	3/1000 SF (UFA) 1/employee, plus 1/delivery vehicle/food truck, plus 1/1000 SF (UFA)

<b>Table 212-2 TABLE OF USES; PERMIT REQUIREMENTS; REQUIRED PARKING RATIOS BY USE</b>				
Commercial kitchen	X	X	X	1/employee, plus 1/delivery vehicle/food truck plus 1/1000 SF (UFA)
Dry cleaning, small (<= 3000 SF (UFA))	X	X	X	1/employee on largest shift, plus 0.5/business vehicle, plus 2/1000 SF (UFA)
Medical/dental laboratory			X	1/employee on largest shift, plus 1/each facility vehicle
Medical marijuana dispensary [8]	X	X	X	2/1000 SF (UFA)
Off-street parking [6]	X	X	X	N/A
Personal services	X	X	X	5/1000 SF (UFA)
Pharmacy	X	X	X	2/1000 SF (UFA)
Restaurant				
Take-out (10 seats or less)	X	X	X	4/1000 SF (UFA)
Walk-in (120 or less occupant load)	X	X	X	8/1000 SF (UFA)
Walk-in (>120 occupant load)	X	X	X	0.25/person (according to the maximum capacity as determined by Building/Life-Safety Codes)
Retail (furniture, specialty)	X	X	X	1/1000 SF (UFA)
Retail bakery [7]	X	X	X	1/employee, plus 1/delivery/food truck plus 1/1000 SF (UFA)
Retail (convenience, gasoline)	X	X	X	4/1000 SF (UFA)
Retail (lawn and garden)	S1	S1	S1	4/1000 SF (UFA)
Storefront, residential-mixed use [4, 7]	X	X	X	Non-residential ratio + 1.5/dwelling unit
Vendors (all types)	S1	S1	S1	N/A
<b>GENERAL NOTES:</b>				
[1] Congregate living facilities of six (6) or fewer residents shall maintain one-thousand (1000) feet distance separation from each other.				
[2] Refer to sec. 27-282.16 for temporary special event application process and minimum standards.				
[3] Use only permitted in future land use category NMU-35.				
[4] Specific storefront uses are allowed as listed in this table.				
[5] Requests may process as an administrative special use permit (S-1) only when sales meet the provisions in section 27-132. If any waivers are needed, the request shall process as an (S-2).				
[6] Interim parking is prohibited.				
[7] Refer to sec. 27-282.20 for supplemental regulations related to this use.				
[8] Refer to section 27-282.29 for supplemental regulations related to this use. Any request to reduce distance requirements set forth in this section, shall be processed as a special use-2 permit (refer to article II, division 5). Requirements of this section shall serve as supplemental special use criteria (refer to section 27-132).				
<b>PARKING-RELATED NOTES:</b> ([C,D] are cumulative and may be combined (40% maximum reduction); [E,F,G] may be combined together and/or with [C,D] (40% maximum reduction; 45% maximum conversion of standard parking spaces)				
[A] UFA means 'usable floor area'.				
[B] Reuse of existing structures with no change of use and no increase in UFA, shall not be required to provide additional parking to meet the standards set forth in this table above. For purposes of this specific provision, ONLY a change to or addition of a restaurant (<=120 occupants) or a medical/veterinary office (<=3000 SF) shall not be considered a change of use.				
[C] Reuse of existing structures up to 10,000 square feet including additions thereto, shall be eligible for a reduction in required parking, for all uses, up to a maximum of 25% of the required amount.				
[D] Developments that mix 3 or more uses (individual establishments) within a common building shall be eligible for a 15% reduction in total required parking.				
[E] Construct on-street parking (non-dedicated & within the public right-of-way) immediately adjacent to subject property for up to 25% of required spaces. (1:1 ratio)				
[F] Up to 10% of required parking may be off-set with the installation of bicycle racks at a rate of 1 vehicle stall = 5 bicycle slots.				
[G] Up to 10% of required parking may be off-set with the installation of motorcycle parking measuring 4' x 8'. (1:1 ratio)				
[H] To calculate required parking, refer to parking ratio for principal use with which the alcoholic beverage sales is associated.				
[I] Visitor parking shall be provided onsite, in addition to required parking for the applicable use type, at a rate of 0.25 spaces/dwelling unit.				

<b>Table 212-2 TABLE OF USES; PERMIT REQUIREMENTS; REQUIRED PARKING RATIOS BY USE</b>
[J] Development must qualify for applicable HUD funding/assistance and be for persons fifty-five (55) and older to use this parking ratio. Visitor parking ratio shall not apply to this use type.
[K] No additional parking spaces, above the required count provided for the associated dwelling unit, shall be required for this use.
[L] "Participant" shall include event attendees, volunteers, and staff/workers. Event parking shall be provided in addition to the required parking for the underlying use(s) on the subject property(-ies). If the underlying uses(s) will not be operating at any time during the event, then those required spaces for such use(s) may be included in the event's parking count.

(Ord. No. 2016-76, 3(Exh. A), 5-26-2016; Ord. No. 2017-132, § 12, 8-24-2017; Ord. No. 2018-176, § 10, 11-1-2018)

**Sec. 27-212.5. Parking layout, general design and materials, and access management.**

<b>Table 212-3 Parking Layout</b>			
Parking Space & Drive Aisle Dimensions	Perpendicular spaces (90 degrees)	Angled spaces (Varied degrees)	Parallel spaces (0 degrees)
Standard parking space minimum dimension:	8' x 18'	Adhere to Compact Spaces dimension standards (See Art. VI)	8' x 22' (interior spaces) 8' x 20' (end spaces)
Drive aisle dimension:	24' (2-way w/cars on placed on each side)		Adhere to Compact Spaces dimension standards (See Art. VI)
<b>Miscellaneous Standards</b>			
<b>Materials</b>	Alternative materials may be considered pursuant to the procedure set forth on sec. 27-60.		
<b>Access</b>	Access to non-residential parking areas may be located on local streets within and placed no further than 100' of the intersection with an arterial or collector roadway.		
<b>Loading</b>	Required loading shall adhere to sec. 27-283.14.		

(Ord. No. 2016-76, 3(Exh. A), 5-26-2016)

**Sec. 27-212.6. Landscaping, tree planting, screening.**

(a) *General purpose.* Preservation of the urban canopy within the Neighborhood Mixed Use District is not only an invaluable asset to the area residents and businesses, it is a vital part of the city's natural resources. This section provides a diverse and well-suited list of trees for new plantings, while defining appropriately-sized planting areas within parking areas and along property perimeters.

(b) *Applicability.* The standards set forth in this section apply to those developments described in (1), (2) below, and unless noted otherwise in (e) below, supersede the tree planting and landscaped area requirements of section 27-284.3.3; however, developments shall comply with all other applicable requirements of article VI, division 4, and any reductions to the required landscaped area set forth below, shall be subject to the applicable landscape in-lieu payment, pursuant to section 27-284.3.4. Standards applicable to:

- (1) All non-residential development;
- (2) Any residential development designed with common/shared surface parking lot(s) and/or common parking garage(s).

(c) *Tree preservation and removal.* All development shall preserve, relocate, and/or remove protected and grand trees in accordance with article VI, division 4, subdivisions 2 through 4.

(d) *Technical Manual.* All development shall adhere to the tree preservation and construction methods of the Tree and Landscape Technical Manual.



(e) *Required plantings (all landscape materials) for general site and parking/loading areas.* Refer to section 27-211.13 for applicable standards. In cases of conflict between the general and parking area landscaping, the most restrictive standard applies.

(Ord. No. 2016-76, 3(Exh. A), 5-26-2016; Ord. No. 2019-54, § 31, 4-18-2019)

**Sec. 27-212.7. Other supplemental regulations.**

(a) All development shall be required to comply with the applicable development standards set forth in this subdivision and articles V, VI, and X for standards affecting (but not limited to) parking, solid waste enclosure, fences and walls, screen enclosures, air conditioner/mechanical equipment location, tents, etc.

(b) *Fences and walls.* Fences and/or walls shall adhere to the following requirements:

- (1) On properties that are located within the boundaries of a specific overlay district, local historic district, historic conservation overlay, or historic landmark, fences and walls shall adhere to the applicable requirements of articles II, IV, and V.
- (2) On properties located outside such areas described in (1) above, chain link fences are prohibited. All other fences and/or walls shall adhere to section 27-290.1.

(c) *Signs.* All signs shall comply with article VI.

(Ord. No. 2016-76, 3(Exh. A), 5-26-2016)

**Secs. 27-213—27-225. Reserved.**

DIVISION 3. SITE PLAN ZONING DISTRICTS

**Sec. 27-226. Purpose.**

The purpose of this article is to provide for zoning districts that recognize unique conditions, allow design flexibility, and promote planned diversification and integration of uses and structures, which other zoning districts cannot accommodate. Through this process city council retains authority to establish such limitations and regulations as it deems necessary to protect the public health, safety, and general welfare, with the exception of standard technical require-

ments, as described in this section. The intent of these site plan zoning districts is to provide standards and requirements which:

- (1) Promote the efficient and sustainable use of land and infrastructure, with careful consideration of potential adverse impacts to onsite natural elements, surrounding impacted neighborhood(s), and cultural resources;
- (2) Allow the integration of different land uses and densities in one (1) development that would not otherwise be provided for or allowed under general zoning districts established in this chapter, which encourage compatibility in overall site design and scale, both internal and external to the project site;
- (3) Provide a procedure which can relate the type, design and layout of residential and nonresidential development to the particular site;
- (4) Acknowledge changing needs, technologies, economics and consumer preferences and allows for ingenuity and imagination in the planning and development of relatively large tracts under unified control as well as allowing flexibility in the redevelopment of older areas of the city;
- (5) Encourage flexible land development which reduces transportation needs, conserves energy, and will maximize the preservation of natural resources, such as streams, lakes, floodplains, groundwater, wooded areas, uplands, and areas of unusual beauty or importance to the natural ecosystem; open space; green-space; and, historical and archaeological sites;

- (6) Promote and encourage development where appropriate in location, character, and compatibility with the surrounding impacted neighborhood(s), built environment, and existing geography;
- (7) Promote more desirable living and working environments than would be possible through the strict application of minimum requirements of other zoning districts;
- (8) Promote architectural features and elements, which compliment the surrounding community and enhance the overall quality of the development; and,
- (9) Promote the retention and reuse of existing building stock.

Site plan districts include general guidelines and review criteria and are subject to the procedures outlined in this article. Construction on property zoned under a site plan district may only take place consistent with the site development plan approved by city council at the time of rezoning. For purposes of this article, site plan zoning districts include Planned Development (PD); Planned Development-Alternative (PD-A) which is intended for large or multi-phase projects; RO, RO-1 and CN districts which permit neighborhood scale office or commercial near residential or infill areas; Tampa Quality Development (TQD); YC-9 which is found in Article III; and Central Business District (CBD-2) which is found in Article III.

**Sec. 27-227. PD Planned Development District.**

(a) *Purpose/definition.* The purpose of this district is to provide an alternative zoning procedure that may be used to establish Planned Development (PD) Districts at appropriate locations and in accordance with the planning and development objectives of the City of Tampa for residential, commercial, industrial and mixed use developments. In addition, all requests for rezoning to PD zoning districts must be found consistent with the overall purpose and intent of a site plan controlled rezoning request, as referenced in section 27-136.

(b) *Permitted uses.* The type or types of land uses permitted must be consistent in all respects with the comprehensive plan, this article and the City of Tampa Code; and such uses, including adaptive reuse, shall be found to be so located and arranged to ensure complete compatibility among themselves, with adjacent existing or future land uses, and with existing or future public facilities, services and utilities.

(c) *Density/intensity.* The density/intensity for a PD project shall not exceed that which is permitted by the land use category in which the parcel is located (as per the adopted future land use map of the Tampa Comprehensive Plan). Density/intensity bonuses, up to the maximum permitted in the plan, may be achieved by providing certain amenities or design features, as outlined in section 27-140.

(d) *Dimensional regulations.* Building (structure) setbacks and height shall be designed using those prescribed in section 27-156 (c) Table 4-2. as a guideline. Flexibility in setbacks for nonresidential projects will be allowed provided there is adequate space for site improvements and fire access; that there is no adverse impact on surrounding properties and there is adequate distance between structures and public or private streets for residential projects, flexibility in setbacks will be allowed according to section 27-139 Alternative Residential Development. Flexibility in building height will be allowed provided that they are compatible with the surrounding neighborhood; and provide increased setbacks to compensate for added building height.

(e) *Site development plan.* In addition to the requirements of section 27-138, the following information shall be included on the site development plan for a planned development district:

- (1) Location, size, height and use of all proposed structures.
- (2) Proposed or existing location of fire hydrants and distance to structures.
- (3) Location and method of buffering from adjacent residential zoning districts.
- (4) Location and method of screening of refuse stations, storage areas and off-street loading areas.

- (5) Location and method of stormwater retention.
  - (6) Location, size and total amount of open space, if applicable.
  - (7) Location and dimensions of proposed parking and service areas, including typical parking space dimensions.
  - (8) Proposed parking area landscaping.
  - (9) Southern Florida Building Code definitions for types of construction proposed and existing.
  - (10) Proposed means of vehicular and pedestrian access from the site(s) within the development to adjacent streets and/or alleys, showing all existing and proposed curb cuts and sidewalks.
- (Ord. No. 2017-43, § 7, 3-16-2017)

**Sec. 27-228. PD(A) planned development alternative.**

(a) *Purpose/definition.* The purpose of a PD(A) District is to allow for a conceptual level of approval for PD districts, thereby maintaining design flexibility for large projects with lengthy

projected build out schedules while ensuring ultimate compliance with the requirements of this article. The project is approved in two (2) steps; a conceptual site plan as approved by city council; and a subsequent detailed site plan. In addition, all requests for rezoning to PD(A) Zoning Districts must be found consistent with the overall purpose and intent of a site plan controlled rezoning request, as referenced in section 27-136.

(b) *Permitted uses.* PD(A) Districts are limited as to the types of land uses which are consistent in all respects with the comprehensive plan, this article and the City of Tampa Code; and, such uses shall be found to be so located and arranged to ensure complete compatibility among themselves, with adjacent existing or future land uses, and with existing or future public facilities, services and utilities.

The PD-A site plan and development standards shall demonstrate compatibility between residential and non-residential uses. The non-residential uses must be consistent with the locational criteria found in the comprehensive plan, or the applicant must be able to demonstrate the appropriateness of the relationship between the residential use and the non-residential use. An example of such a relationship is a golf course or other recreational amenity typical of a master planned residential community.

(c) *Density/intensity.* The density/intensity for a PD project shall not exceed that which is permitted by the land use category in which the parcel is located (as per the adopted future land use map of the Tampa Comprehensive Plan). Density/intensity bonuses, up to the maximum permitted in the plan, may be achieved by providing certain amenities or design features, as outlined in section 27-140.

(d) *Dimensional regulations.* Building (structure) setbacks and height shall be designed using those prescribed in section 27-156(c) Table 4-2. as a guideline. Flexibility in setbacks for nonresidential projects will be allowed provided there is adequate space for site improvements and fire access; that there is no adverse impact on surrounding properties; and there is adequate distance between structures and public or private streets. For residential projects, flexibility in set-

backs will be allowed according to section 27-139 Alternative residential development. Flexibility in building height will be allowed provided that they are compatible with the surrounding neighborhood; and provide increased setbacks to compensate for added building height.

(e) *Specific requirements.*

- (1) *Site area and phasing.* Any proposed planned development for which phased or incremental development over five (5) years is contemplated and which is greater than fifty (50) acres, may undergo the PD(A) review and approval process. Proposed planned developments which are less than fifty (50) acres shall be required to undergo the PD review and approval process, per this article.
- (2) *Conceptual site development plan.* The petitioner for a PD(A) District shall provide the land development coordination division with a conceptual site development plan, which shall meet, at minimum, the informational requirements of section 27-138.

The site plan informational requirements under section 27-138 are intended to permit the reviewing city staff to make informed decisions on the approval or denial of a proposed PD(A) District without requiring the applicant to provide detailed information such as lot layout, location of local streets, location of projected utility lines or improvements, location of drainage facilities and other site specific information required under section 27-227(c) through 27-227(e), for general PD Districts.

(3) *Detailed site development plan.*

- a. Prior to the commencement of development on any portion of a PD(A) Zoning District, the developer shall submit a detailed site development plan for approval by the zoning administrator or designee. A detailed site development plan may be submitted either for the entire development, or on any portion thereof. The

developer, or his authorized agent, shall submit the following materials:

1. A completed, typewritten application, on a form provided from the land development coordination division.
  2. A letter of transmittal officially submitting the proposal for approval, signed by the developer or his authorized representative.
  3. Fifteen (15) copies of a dimensional detailed site plan meeting those requirements outlined in section 27-227(e).
- b. The zoning administrator or designee shall review the detailed site plan to determine its compliance with the conceptual site development plan and with the guidelines and standards established in the plan and established by the city council at the time of site development plan approval. If requested, developer shall provide transportation data to show compliance with conceptual site development plan. Following the review, the zoning administrator or designee shall either approve or disapprove said plan.
- c. In the event of administrative disapproval, the detailed site development plan may be revised and resubmitted to the staff for further review, or may be submitted upon appeal to the city council of the City of Tampa for final determination. The city council may approve the detailed site development plan, may approve it with changes, or disapprove it.
- d. Any change to a detailed site development plan subsequent to detailed site development plan approval must be filed with the zoning administrator or designee in accordance with section 27-138, substantial changes.
- e. At his own risk, a developer of a project of single-family attached or

detached dwelling units, may waive the detailed site plan procedure. Compliance with the conceptual site plan and other zoning criteria will be assessed during the subdivision and commercial plan review processes. In such cases it is in the applicants best interest to ensure that drawings for both the subdivision and commercial plan process meet all applicable regulations of the land development code.

**Secs. 27-229, 27-230. Reserved.**

**ARTICLE IV. OVERLAY DISTRICTS**

**DIVISION 1. INTENT AND DISTRICT TYPES**

**Sec. 27-231. Intent and declaration of public policy.**

(a) The purpose of an overlay district is to allow for the application of specific regulations to a distinct geographic area. The geographic area warrants special consideration due to a unique situation or practical difficulties resulting from the historic development pattern. Existing conditions and development are such that it is impractical to comply with underlying district regulations without causing substantial hardship to the public good.

(b) The overlay district concept is discussed in the Comprehensive Plan as a method of preserving the character of an area. It will encourage development to occur that is compatible with the existing scale and pattern of surrounding properties.

(c) The effect of an overlay district will be to encourage property development which will maintain the unique characteristics of the area.

(d) It is the intent of this article to provide an instrument for establishing different types of overlay districts.