

20.25.081 /DE-D,
**Design Excellence -
Downtown Overlay**

A. General

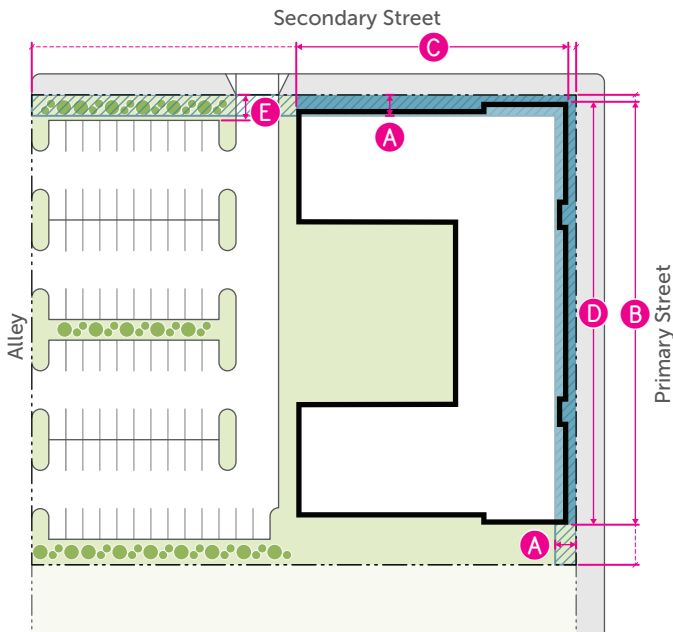
1. The design standards in this Section apply to development within the /DE-D Design Excellence - Downtown Overlay. The City maintains a map of specific parcels subject to each of the subdistricts in this Section.
2. Additional general design standards that apply to all Design Excellence Overlay subdistricts are included in 20.25.080C.2. This Section also contains definitions, rules for measurement, and guidance for interpretation of these standards.
3. These Design Excellence - Downtown Standards apply to projects that require Zoning Compliance Review (see 20.25.080B.1.b.) as well as those that require Design Excellence Review (see 20.25.080B.1.a.).

B. Downtown Inner Core

In the future, the Downtown Inner Core should remain the urban center of the community. It should be comparatively higher in density, in terms of building scale and intensity of land use. Compatibility with traditional character is paramount.

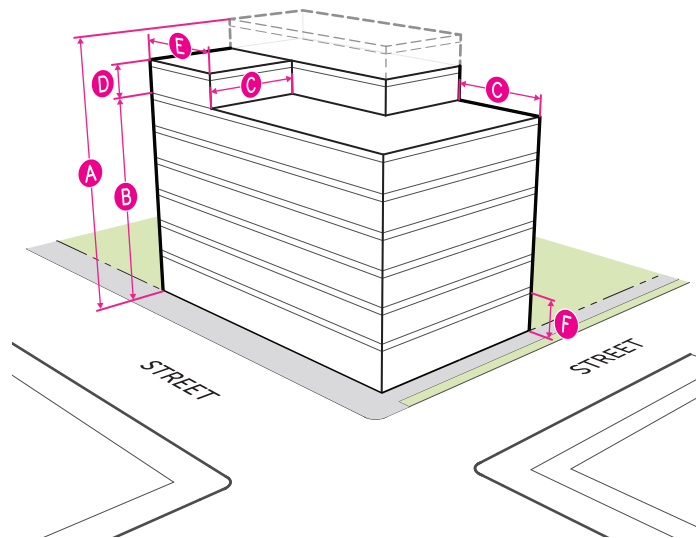
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	0'/5'
B	Build-to width: primary street (min)	90%
C	Build-to width: secondary street (min)	70%
D	Building width (max)	325'

PARKING

	Parking between building and street	Prohibited
E	Parking setback from street (min)	15'
	Interior parking lot landscaping	n/a
	Parking lot perimeter screening	n/a

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	85' 6 stories
C	Stepback depth (min)	10'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	13'

Downtown Inner Core

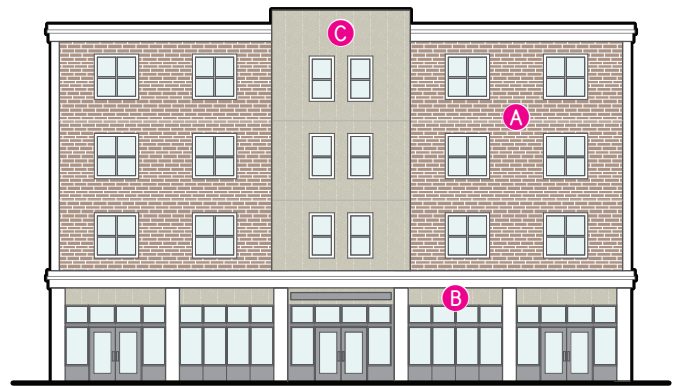
3. Facade Design

(See 20.25.080C.5.)



4. Materials

(See 20.25.080C.6.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	65%	50%
Glazed area: residential (min)	65%	50%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	8'	8'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries (max)	50'	50'

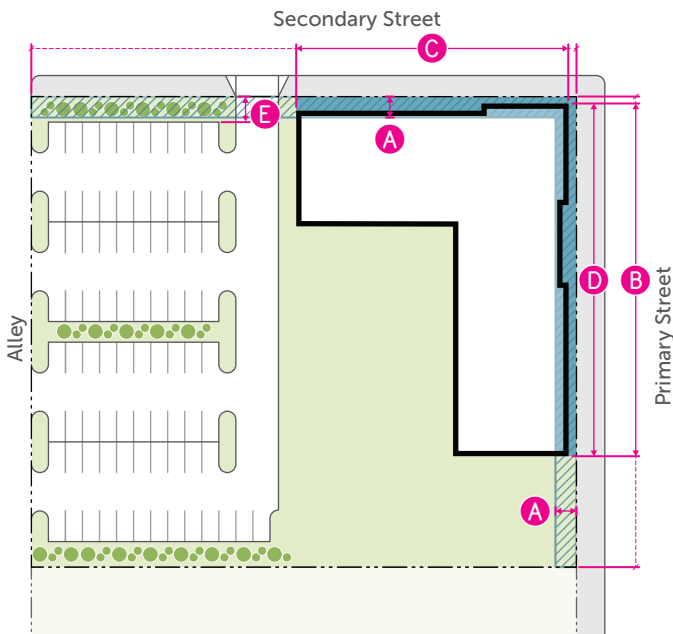
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
Natural material (min)	n/a	n/a
A Traditional masonry (min)	70%	40%
B Synthetic Stucco: ground floor (max)	20%	70%
C Synthetic Stucco: upper floor (max)	40%	70%

C. Downtown Outer Core

The Downtown Outer Core is an essential part of the urban center and should be experienced as part of it. It contains many historic resources that provide a reference for design, but the area is more diverse in building types than the Downtown Inner Core. Nonetheless, most buildings contribute to an urban street experience, with facades located at the street edge and activated with storefronts. New designs in the Downtown Outer Core should contribute to this engaging street experience.

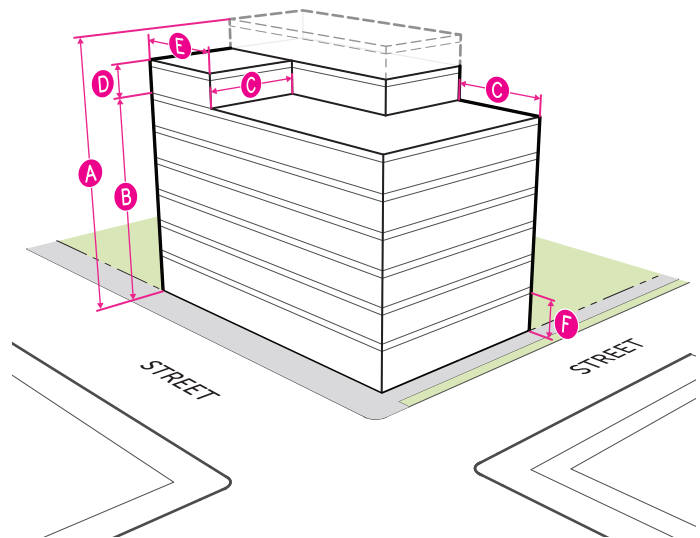
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	0'/5'
B	Build-to width: primary street (min)	80%
C	Build-to width: secondary street (min)	60%
D	Building width (max)	275'

PARKING

	Parking between building and street	Prohibited
E	Parking setback from street (min)	15'
	Interior parking lot landscaping	n/a
	Parking lot perimeter screening	n/a

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	85' 6 stories
C	Stepback depth (min)	10'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	13'

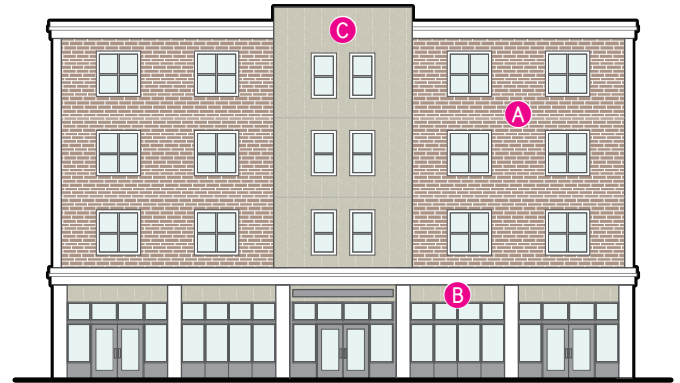
Downtown Outer Core

3. Facade Design

(See 20.25.080C.5.)

4. Materials

(See 20.25.080C.6.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	65%	40%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	10'	10'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	70'	70'
Distance between entries: Residential (max)	100'	100'

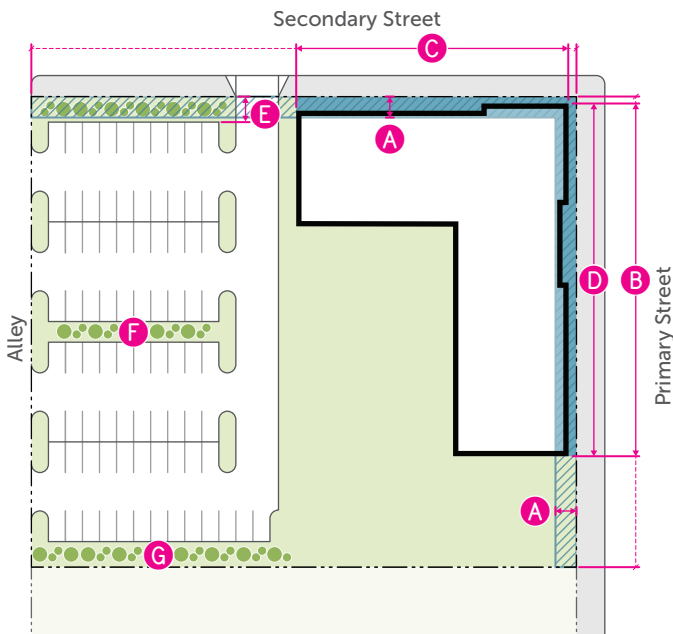
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
Natural material (min)	n/a	n/a
A Traditional masonry (min)	60%	40%
B Synthetic Stucco: ground floor (max)	20%	70%
C Synthetic Stucco: upper floor (max)	40%	70%

D. Downtown Hip Strip

The Downtown Hip Strip is a distinctively unique part of Downtown, with a mix of older and newer buildings of a moderate scale. It has a diverse range of building types that are interesting at the street level, and generally built close to the street edge in ways that invite exploration. Public art and creative signs, colors and artistic elements are encouraged.

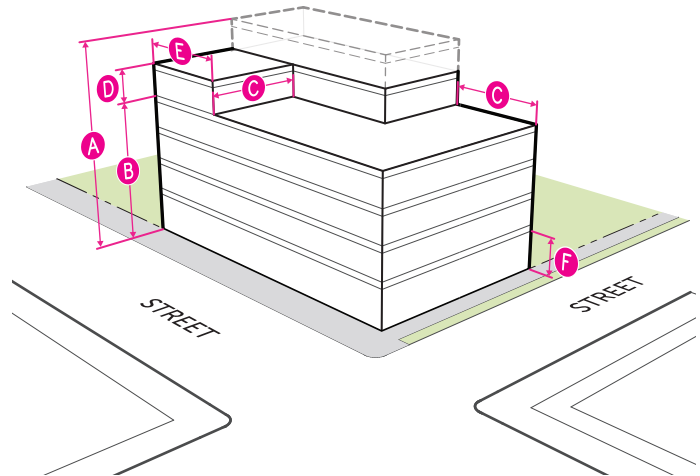
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	0'/5'
B	Build-to width: primary street (min)	70%
C	Build-to width: secondary street (min)	40%
D	Building width (max)	275'

PARKING

	Parking between building and street	Prohibited
E	Parking setback from street (min)	15'
F	Interior parking lot landscaping	Required
G	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	60' 4 stories
C	Stepback depth (min)	10'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	13'

Downtown Hip Strip

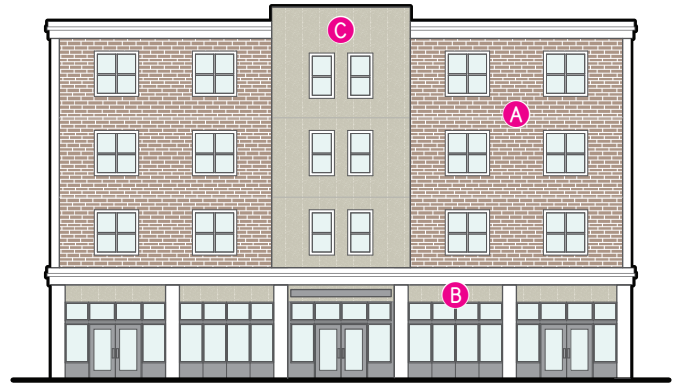
3. Facade Design

(See 20.25.080C.5.)



4. Materials

(See 20.25.080C.6.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	65%	40%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	10'	10'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	70'	70'
Distance between entries: Residential (max)	100'	100'

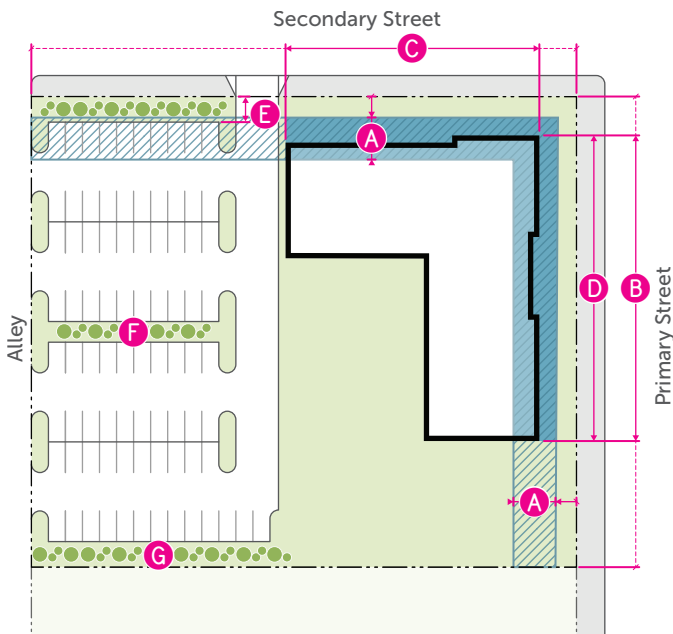
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
Natural material (min)	n/a	n/a
A Traditional masonry (min)	50%	40%
B Synthetic Stucco: ground floor (max)	20%	70%
C Synthetic Stucco: upper floor (max)	40%	70%

E. Downtown Gateway

Gateway areas frame Downtown and contribute to a sense of entry into the urban center. These areas are in transition, evolving from an auto-oriented character to a more urban experience. They will include commercial and residential developments with a variety of building forms and street edge characteristics. New development should establish a more urban feel. Downtown Gateways often have edges that face established residential neighborhoods, and compatible transitions in these locations are important.

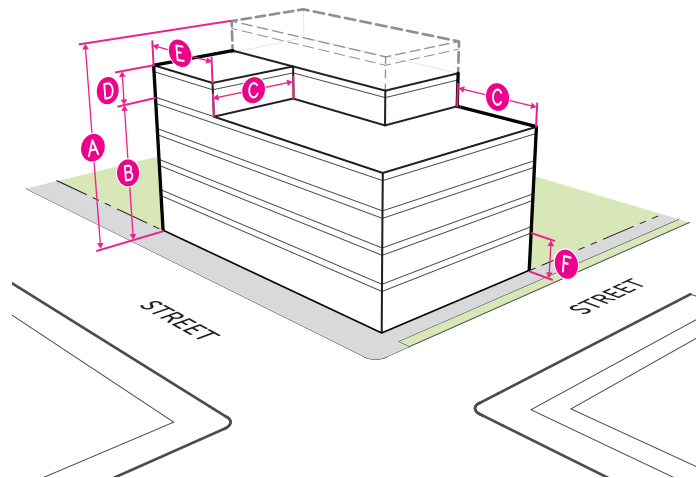
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	5'/15'
B	Build-to width: primary street (min)	60%
C	Build-to width: secondary street (min)	30%
D	Building width (max)	325'

PARKING

E	Parking setback from street (min)	10'
F	Interior parking lot landscaping	Required
G	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	60' 4 stories
C	Stepback depth (min)	15'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	13'

Downtown Gateway

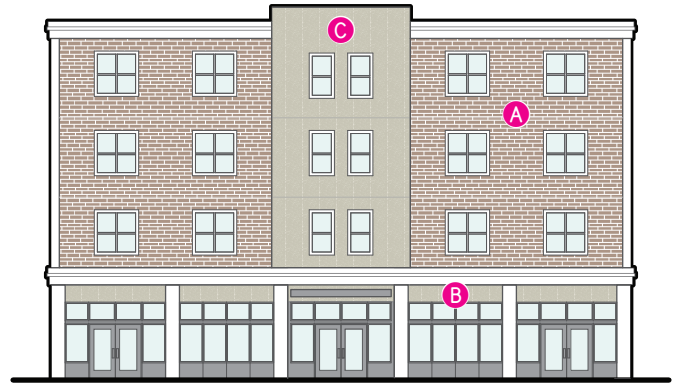
3. Facade Design

(See 20.25.080C.5.)



4. Materials

(See 20.25.080C.6.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	60%	40%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	12'	12'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	90'	90'
Distance between entries: Residential (max)	120'	120'

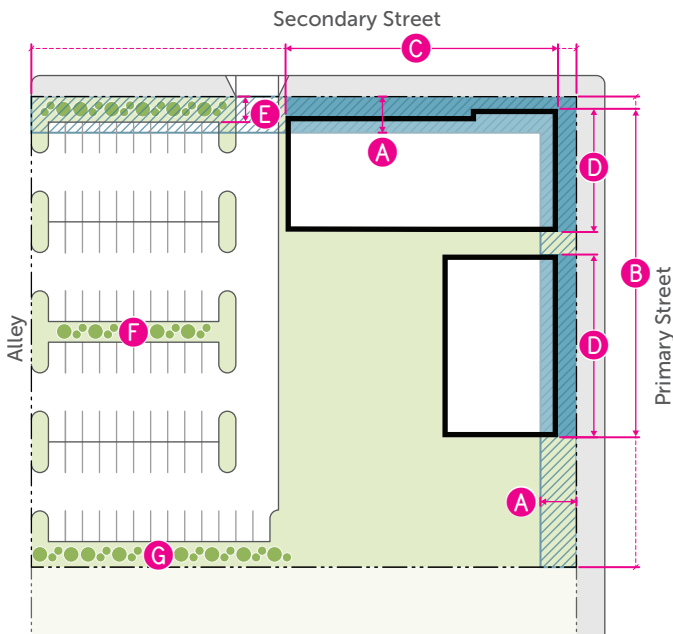
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	25%	25%
Traditional masonry (min)	n/a	n/a
B Synthetic Stucco: ground floor (max)	40%	80%
C Synthetic Stucco: upper floor (max)	60%	80%

F. Downtown North

The Downtown North Context will continue to be home to a variety of building types and forms. It will serve as a transition between the Downtown Gateway Area around Broadway and the residential neighborhood to the north, with moderately scaled buildings. While increases in density and scale are desired, buildings and sites should be designed to fit in with the residential character.

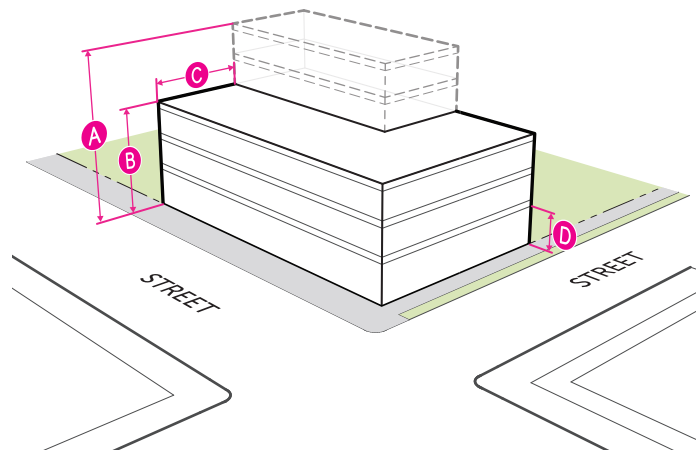
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	10'/20'
B	Build-to width: primary street (min)	60%
C	Build-to width: secondary street (min)	30%
D	Building width (max)	160'

PARKING

E	Parking setback from street (min)	10'
F	Interior landscaping	Required
G	Parking lot perimeter screening	Required
	Parking between building and primary street	Prohibited
	Parking between building and secondary street	Limited

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	45' 3 stories
C	Stepback depth (min)	20'

FLOOR TO CEILING HEIGHT

D	Non-residential (min)	10'
	Residential (min)	13'

Downtown North

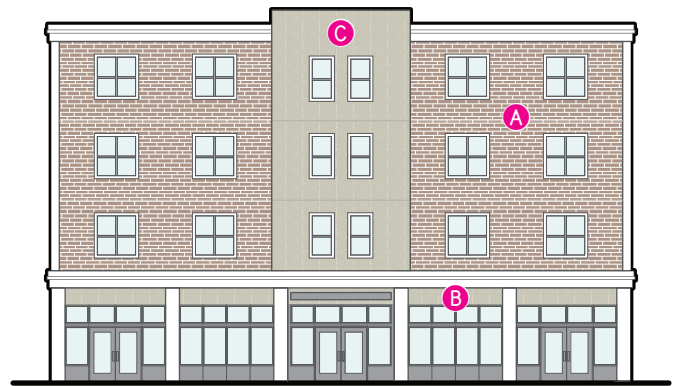
3. Facade Design

(See 20.25.080C.5.)



4. Materials

(See 20.25.080C.6.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	45%	30%
Glazed area: residential (min)	20%	20%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	12'	12'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	90'	90'
Distance between entries: Residential (max)	120'	120'

	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	25%	25%
Traditional masonry (min)	n/a	n/a
B Synthetic Stucco: ground floor (max)	60%	n/a
C Synthetic Stucco: upper floor (max)	75%	n/a

20.25.082 /DE-C, Design Excellence - Corridor Overlay

A. General

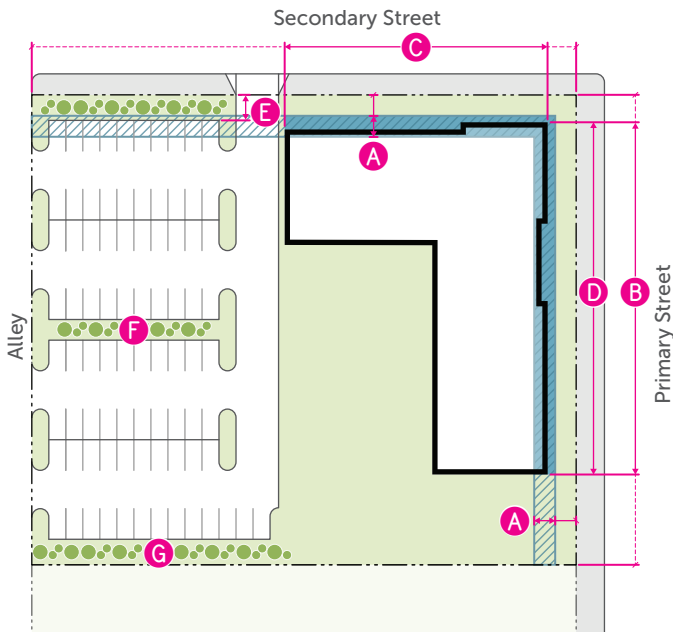
1. The design standards in this Section apply to development within the /DE-C Design Excellence - Corridor Overlay. The City maintains a map of specific parcels subject to each of the subdistricts in this Section.
2. Additional general design standards that apply to all Design Excellence Overlay subdistricts are included in 20.25.080C.2. This Section also contains definitions, rules for measurement, and guidance for interpretation of these standards.
3. These Design Excellence - Corridor Standards apply to projects that require Zoning Compliance Review (see 20.25.080B.1.b.) as well as those that require Design Excellence Review (see 20.25.080B.1.a.).
4. Those portions of the various Corridors that are designated as Nodes in Corridor Typologies 2, 3 and 4 are required to meet the Site Design standards and Floor to Ceiling Height for Typology 1 (20.25.082B.).

B. Corridor Typology 1

Typology 1 Corridors have been identified to be redeveloped as mixed-use, pedestrian-oriented streets that support transit and prioritize placemaking. Walkability in these areas should be heavily emphasized. Mid-rise development is encouraged. Buildings are located to tightly frame the street with a consistent street wall, but some minor fluctuation in front setback is encouraged. Parking should be shared among multiple buildings wherever possible. High levels of transparency and detailing are promoted at the street level.

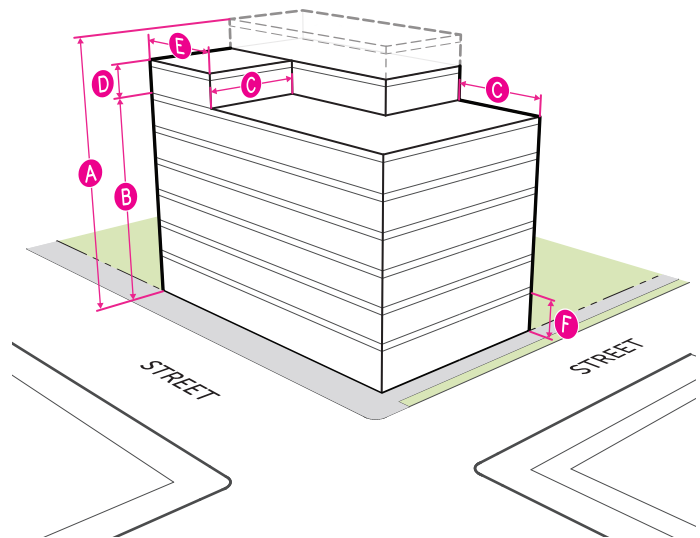
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	5'/10'
B	Build-to width: primary street (min)	75%
C	Build-to width: secondary street (min)	55%
D	Building width (max)	300'

PARKING

	Parking between building and street	Prohibited
E	Parking setback from street (min)	15'
F	Interior landscaping	Required
G	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	85' 6 stories
C	Stepback depth (min)	15'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	13'

Corridor Typology 1

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



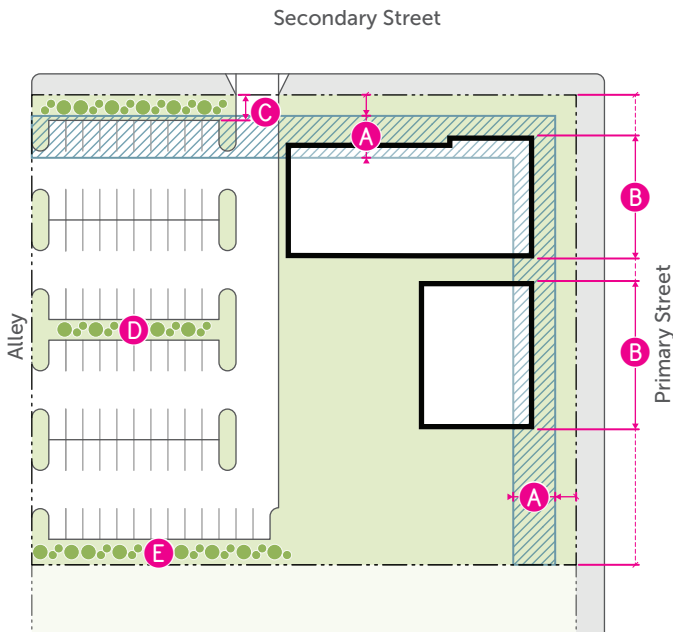
	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	60%	40%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	8'	12'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries (max)	60'	60'

	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	35%	15%
B Synthetic Stucco: ground floor (max)	20%	70%
C Synthetic Stucco: upper floor (max)	40%	70%
MASS VARIATION		
Building width: 50' -120'	n/a	n/a
Building width: 120' +	Required	n/a
FACADE ARTICULATION		
Building width: 50' -120'	Required	n/a
Building width: 120' +	Required	n/a

C. Corridor Typology 2

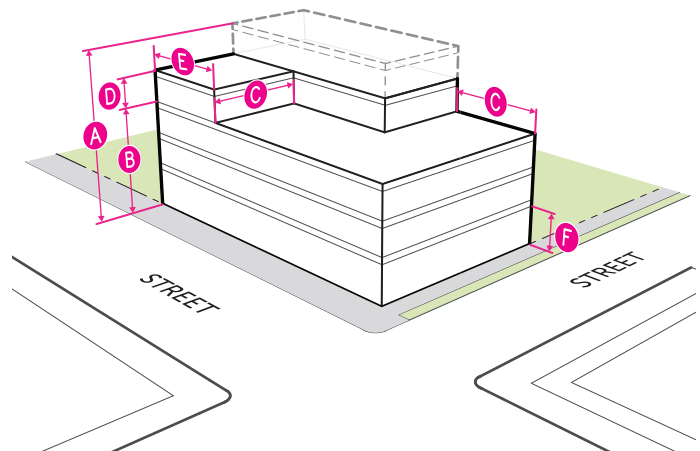
Typology 2 Corridors are closely knitted with the residential neighborhoods that surround them. Where residentially-zoned properties front a Corridor, adjacent commercial development should be designed to respond sensitively to them; designed with smaller scale elements and lower scale at the street edge to help them fit in. The visual impact of parking should be minimized to provide a highly walkable street edge. Buildings are oriented to the street, but building placement flexibility is promoted. Sets of buildings that cluster around courtyards or other amenities are encouraged.

1. Site Design



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	5'/15'
B	Build-to width: primary street (min)	50%
C	Build-to width: secondary street (min)	45%
B	Building width (max)	175'

PARKING

	Parking between building and street	Prohibited
C	Parking setback from street (min)	10'
D	Interior landscaping	Required
E	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	45' 3 stories
C	Stepback depth (min)	15'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	10'

Corridor Typology 2

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	50%	35%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	12'	16'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	80'	80'
Distance between entries: Residential (max)	100'	100'

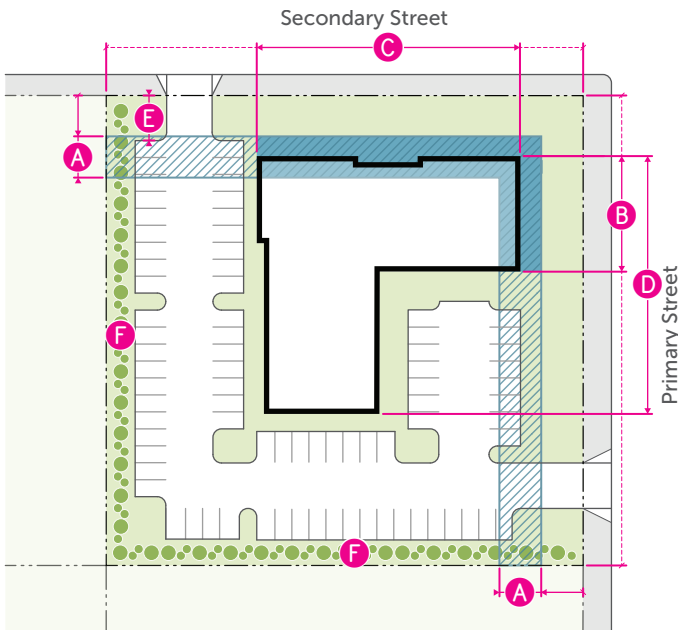
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	20%	10%
B Synthetic Stucco: ground floor (max)	40%	70%
C Synthetic Stucco: upper floor (max)	60%	70%
MASS VARIATION		
Building width: 50' -80'	n/a	n/a
Building width: 80' +	Required	n/a
FACADE ARTICULATION		
Building width: 50' -80'	Required	n/a
Building width: 80' +	Required	n/a

D. Corridor Typology 3

Typology 3 Corridors should be designed to promote an enhanced entry experience for those coming into the City or Downtown, and establish a strong emphasis on walkability and visual interest. Development along Typology 3 Corridors should provide a moderately-strong building presence along the street to frame the roadway and pedestrian space. Parking adjacent to the street should be limited, with the majority of surface parking located to the side or rear of a building.

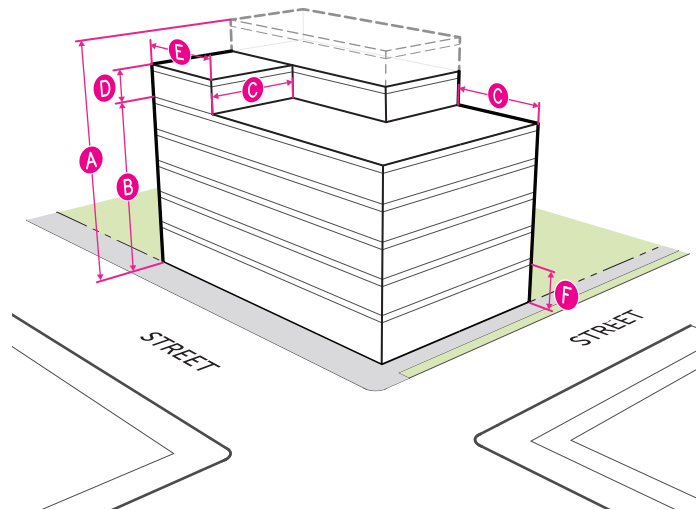
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A Build-to zone (min/max)	10'/20'
B Build-to width: primary street (min)	40%
C Build-to width: secondary street (min)	35%
D Building width (max)	300'

PARKING

Parking between building and street	Limited
E Parking setback from street (min)	10'
Interior landscaping	Required
F Parking lot perimeter screening	Required

BUILDING HEIGHT

A Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B Street wall height (max)	70' 5 stories
C Stepback depth (min)	20'
D Stepback exception: height (max)	15' 1 story
E Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

Residential (min)	10'
F Non-residential (min)	10'

Corridor Typology 3

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	50%	35%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	14'	14'
ENTRANCES		
D Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	120'	120'
Distance between entries: Residential (max)	150'	150'

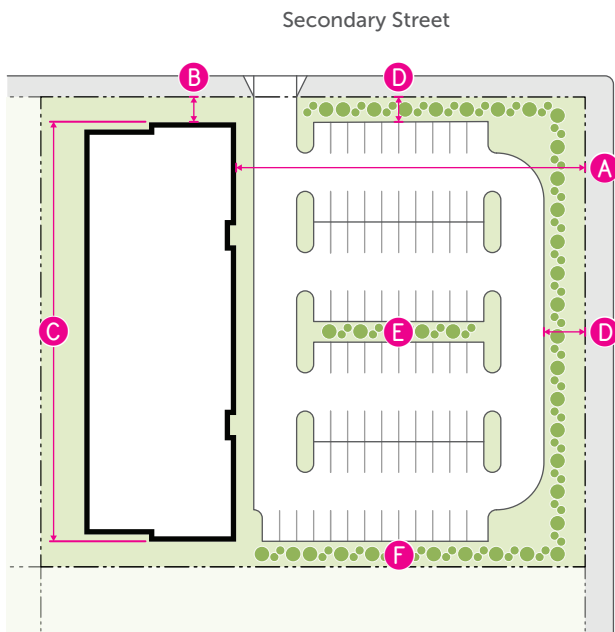
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	30%	15%
B Synthetic Stucco: ground floor (max)	60%	80%
C Synthetic Stucco: upper floor (max)	60%	80%
MASS VARIATION		
Building width: 50' -150'	n/a	n/a
Building width: 150' +	Required	n/a
FACADE ARTICULATION		
Building width: 50' -150'	Required	n/a
Building width: 150' +	Required	n/a

E. Corridor Typology 4

Typology 4 Corridors continue to facilitate larger-format commercial development that caters to the needs of drivers, but provide an attractive edge environment that softens the visual impact of parking and buffers the pedestrian. Flexibility in parking siting and variety in building placement relative to the street is supported. Development should not be a barrier to connectivity, and opportunities to enhance pedestrian and multi-modal mobility should be promoted.

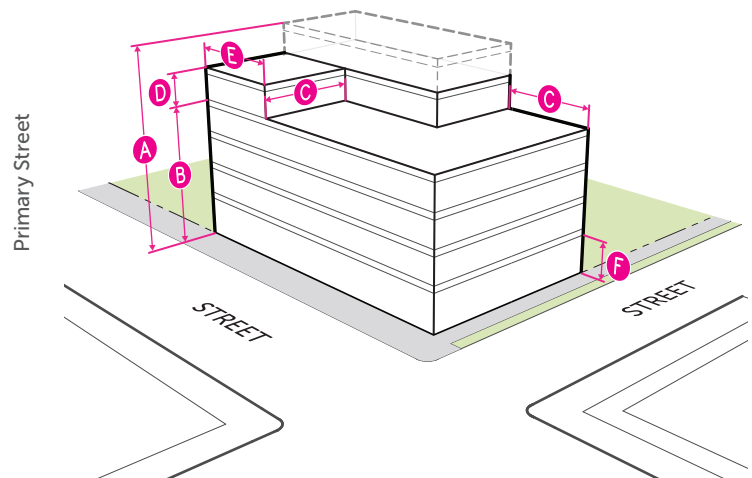
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A Street setback: primary street (min)	15'*
B Street setback: secondary street (min)	10'
Build-to zone (min/max)	n/a
Build-to width	n/a
C Building width (max)	600'

PARKING

Parking between building and street	Allowed
D Parking setback from street (min)	10'
E Interior parking lot landscaping	Required
F Parking lot perimeter screening	Required

* See 20.25.082E.5 for special setback.

BUILDING HEIGHT

A Building height (max)	See underlying zoning
--------------------------------	-----------------------

UPPER STORY STEPBACK

B Street wall height (max)	60' 4 stories
C Stepback depth (min)	15'
D Stepback exception: height (max)	15' 1 story
E Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

Residential (min)	10'
F Non-residential (min)	10'

Corridor Typology 4

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	35%	25%
Glazed area: residential (min)	20%	20%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	16'	16'
ENTRANCES		
D Street-facing entrance	Visible from the Corridor	n/a
E Distance between entries (max)	160'	160'

	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	10%	n/a
B Synthetic Stucco: ground floor (max)	75%	n/a
C Synthetic Stucco: upper floor (max)	85%	n/a
MASS VARIATION		
Building width: 50'-200'	n/a	n/a
Building width: 200' +	Required	n/a
FACADE ARTICULATION		
Building width: 50'-200'	Required	n/a
Building width: 200' +	Required	n/a

5. Special Setback

In Corridor Typology 4, due to irregular right-way, the setback along the west side of Reserve Street generally from Mount Street and South 5th Street West, as more specifically depicted on the map below, will be measured from the back edge of a 30-foot "no build" line that begins at the back of the existing curb and approximates the right-of-way line for the blocks to the north and south of the designated area.

