

20.25.082 /DE-C, Design Excellence - Corridor Overlay

A. General

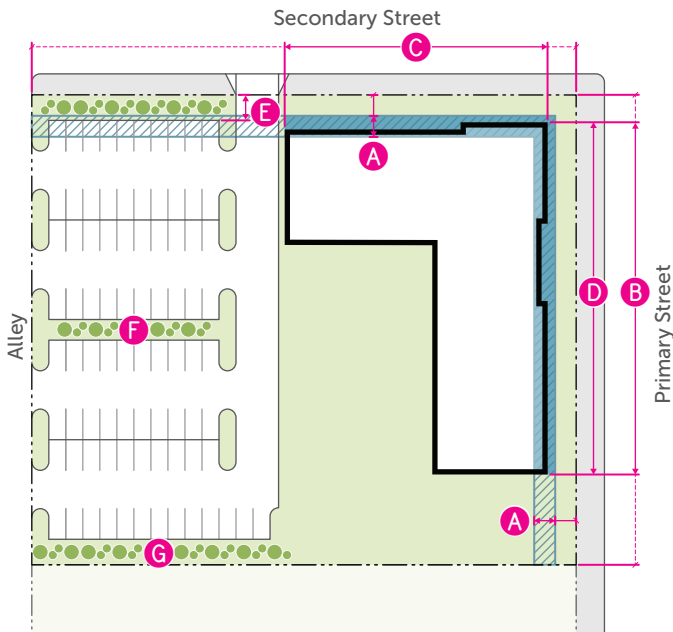
1. The design standards in this Section apply to development within the /DE-C Design Excellence - Corridor Overlay. The City maintains a map of specific parcels subject to each of the subdistricts in this Section.
2. Additional general design standards that apply to all Design Excellence Overlay subdistricts are included in 20.25.080C.2. This Section also contains definitions, rules for measurement, and guidance for interpretation of these standards.
3. These Design Excellence - Corridor Standards apply to projects that require Zoning Compliance Review (see 20.25.080B.1.b.) as well as those that require Design Excellence Review (see 20.25.080B.1.a.).
4. Those portions of the various Corridors that are designated as Nodes in Corridor Typologies 2, 3 and 4 are required to meet the Site Design standards and Floor to Ceiling Height for Typology 1 (20.25.082B.).

B. Corridor Typology 1

Typology 1 Corridors have been identified to be redeveloped as mixed-use, pedestrian-oriented streets that support transit and prioritize placemaking. Walkability in these areas should be heavily emphasized. Mid-rise development is encouraged. Buildings are located to tightly frame the street with a consistent street wall, but some minor fluctuation in front setback is encouraged. Parking should be shared among multiple buildings wherever possible. High levels of transparency and detailing are promoted at the street level.

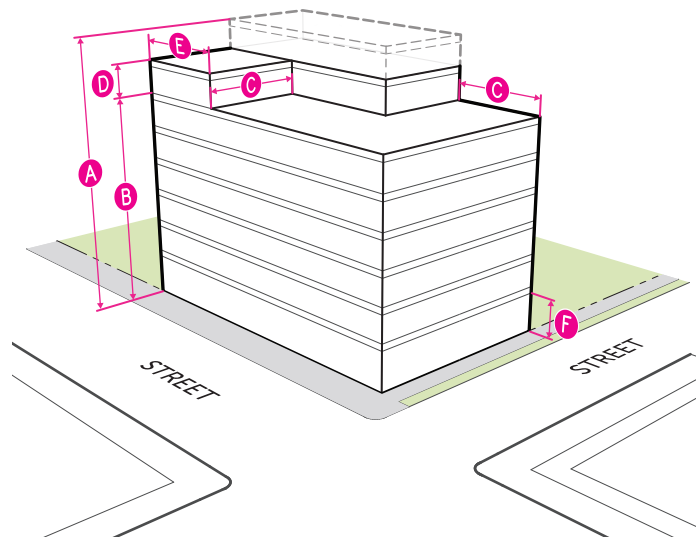
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	5'/10'
B	Build-to width: primary street (min)	75%
C	Build-to width: secondary street (min)	55%
D	Building width (max)	300'

PARKING

	Parking between building and street	Prohibited
E	Parking setback from street (min)	15'
F	Interior landscaping	Required
G	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	85' 6 stories
C	Stepback depth (min)	15'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	13'

Corridor Typology 1

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



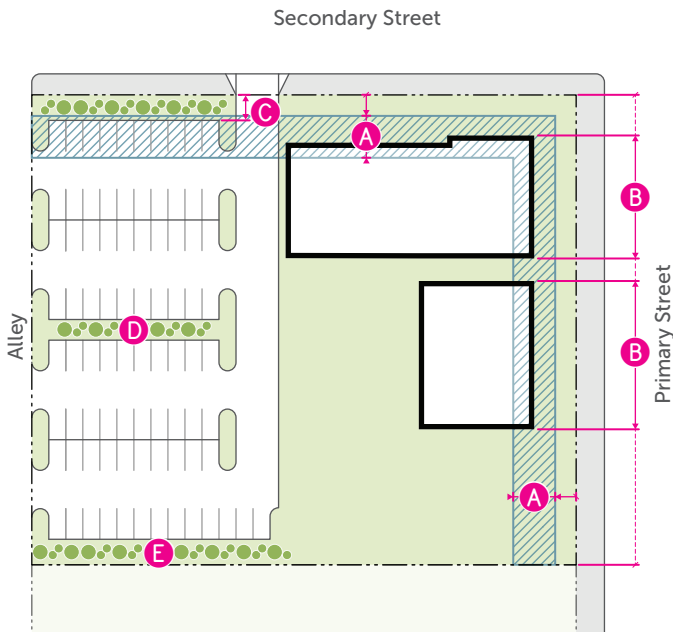
	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	60%	40%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	8'	12'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries (max)	60'	60'

	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	35%	15%
B Synthetic Stucco: ground floor (max)	20%	70%
C Synthetic Stucco: upper floor (max)	40%	70%
MASS VARIATION		
Building width: 50' -120'	n/a	n/a
Building width: 120' +	Required	n/a
FACADE ARTICULATION		
Building width: 50' -120'	Required	n/a
Building width: 120' +	Required	n/a

C. Corridor Typology 2

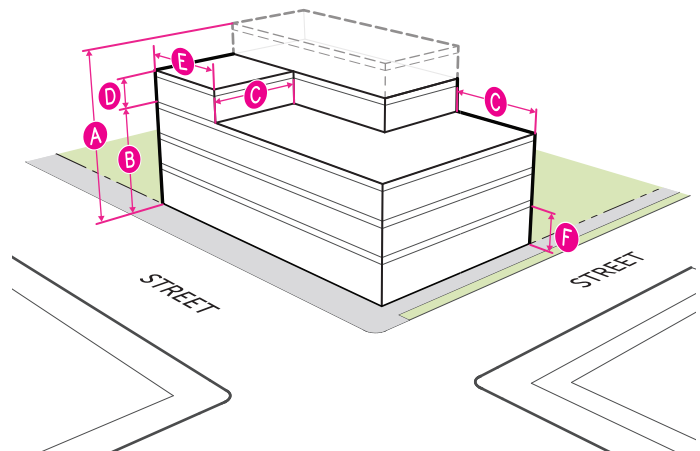
Typology 2 Corridors are closely knitted with the residential neighborhoods that surround them. Where residentially-zoned properties front a Corridor, adjacent commercial development should be designed to respond sensitively to them; designed with smaller scale elements and lower scale at the street edge to help them fit in. The visual impact of parking should be minimized to provide a highly walkable street edge. Buildings are oriented to the street, but building placement flexibility is promoted. Sets of buildings that cluster around courtyards or other amenities are encouraged.

1. Site Design



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	5'/15'
B	Build-to width: primary street (min)	50%
C	Build-to width: secondary street (min)	45%
B	Building width (max)	175'

PARKING

	Parking between building and street	Prohibited
C	Parking setback from street (min)	10'
D	Interior landscaping	Required
E	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	45' 3 stories
C	Stepback depth (min)	15'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	10'

Corridor Typology 2

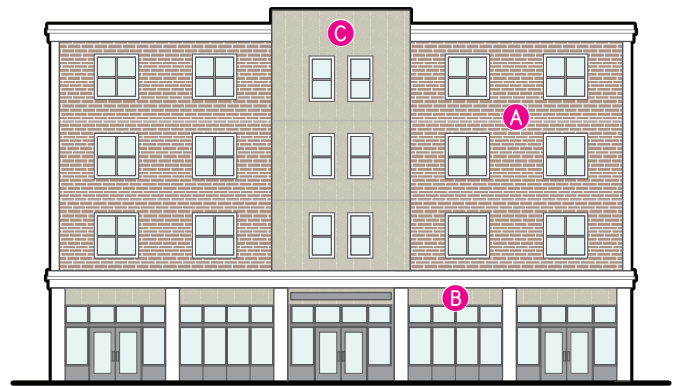
3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	50%	35%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	12'	16'
ENTRANCES		
Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	80'	80'
Distance between entries: Residential (max)	100'	100'

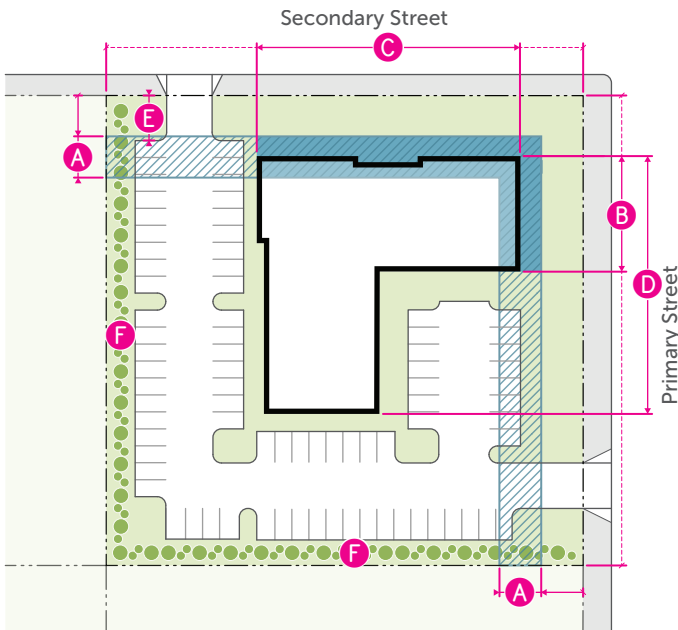
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	20%	10%
B Synthetic Stucco: ground floor (max)	40%	70%
C Synthetic Stucco: upper floor (max)	60%	70%
MASS VARIATION		
Building width: 50' -80'	n/a	n/a
Building width: 80' +	Required	n/a
FACADE ARTICULATION		
Building width: 50' -80'	Required	n/a
Building width: 80' +	Required	n/a

D. Corridor Typology 3

Typology 3 Corridors should be designed to promote an enhanced entry experience for those coming into the City or Downtown, and establish a strong emphasis on walkability and visual interest. Development along Typology 3 Corridors should provide a moderately-strong building presence along the street to frame the roadway and pedestrian space. Parking adjacent to the street should be limited, with the majority of surface parking located to the side or rear of a building.

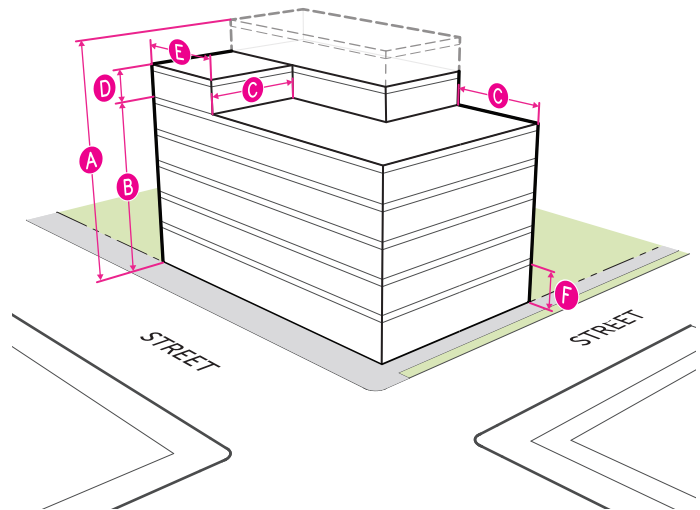
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A	Build-to zone (min/max)	10'/20'
B	Build-to width: primary street (min)	40%
C	Build-to width: secondary street (min)	35%
D	Building width (max)	300'

PARKING

	Parking between building and street	Limited
E	Parking setback from street (min)	10'
	Interior landscaping	Required
F	Parking lot perimeter screening	Required

BUILDING HEIGHT

A	Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B	Street wall height (max)	70' 5 stories
C	Stepback depth (min)	20'
D	Stepback exception: height (max)	15' 1 story
E	Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

	Residential (min)	10'
F	Non-residential (min)	10'

Corridor Typology 3

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)



	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	50%	35%
Glazed area: residential (min)	30%	30%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	14'	14'
ENTRANCES		
D Street-facing entrance	Required	n/a
D Distance between entries: Non-residential (max)	120'	120'
Distance between entries: Residential (max)	150'	150'

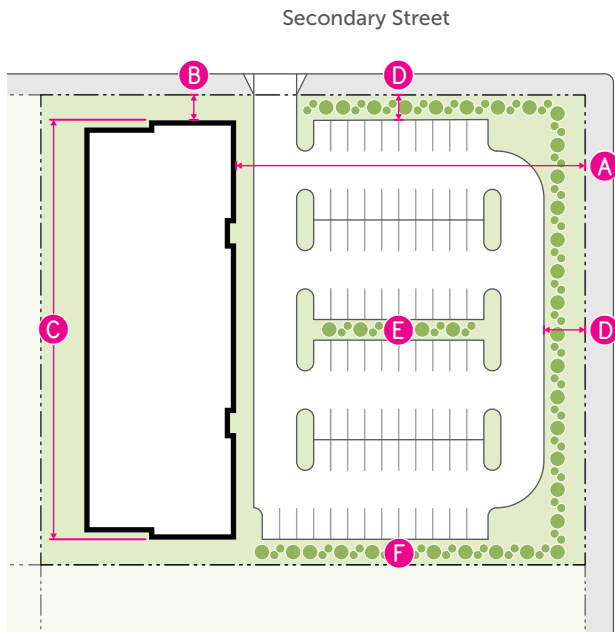
	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	30%	15%
B Synthetic Stucco: ground floor (max)	60%	80%
C Synthetic Stucco: upper floor (max)	60%	80%
MASS VARIATION		
Building width: 50' -150'	n/a	n/a
Building width: 150' +	Required	n/a
FACADE ARTICULATION		
Building width: 50' -150'	Required	n/a
Building width: 150' +	Required	n/a

E. Corridor Typology 4

Typology 4 Corridors continue to facilitate larger-format commercial development that caters to the needs of drivers, but provide an attractive edge environment that softens the visual impact of parking and buffers the pedestrian. Flexibility in parking siting and variety in building placement relative to the street is supported. Development should not be a barrier to connectivity, and opportunities to enhance pedestrian and multi-modal mobility should be promoted.

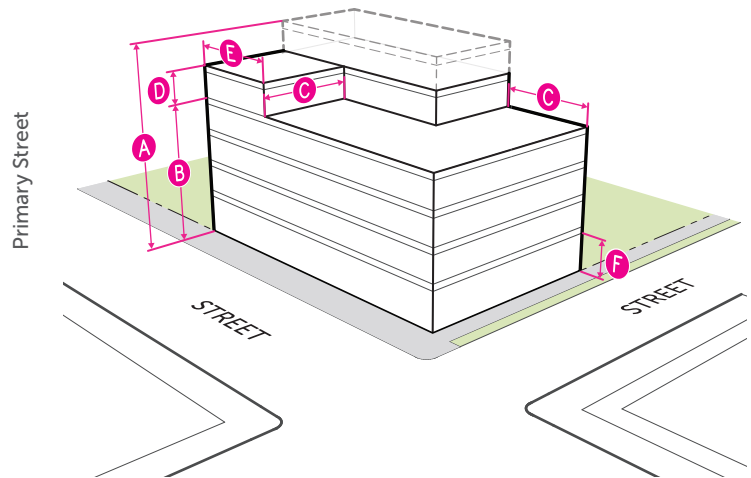
1. Site Design

(See 20.25.080C.3.)



2. Vertical Scale

(See 20.25.080C.4.)



BUILDING

A Street setback: primary street (min)	15'*
B Street setback: secondary street (min)	10'
Build-to zone (min/max)	n/a
Build-to width	n/a
C Building width (max)	600'

PARKING

Parking between building and street	Allowed
D Parking setback from street (min)	10'
E Interior parking lot landscaping	Required
F Parking lot perimeter screening	Required

* See 20.25.082E.5 for special setback.

BUILDING HEIGHT

A Building height (max)	See underlying zoning
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UPPER STORY STEPBACK

B Street wall height (max)	60' 4 stories
C Stepback depth (min)	15'
D Stepback exception: height (max)	15' 1 story
E Stepback exception: width (max)	30%

FLOOR TO CEILING HEIGHT

Residential (min)	10'
F Non-residential (min)	10'

Corridor Typology 4

3. Facade Design

(See 20.25.080C.5.)



4. Materials / Articulation

(See 20.25.080C.6.) / (See 20.25.080C.7.)

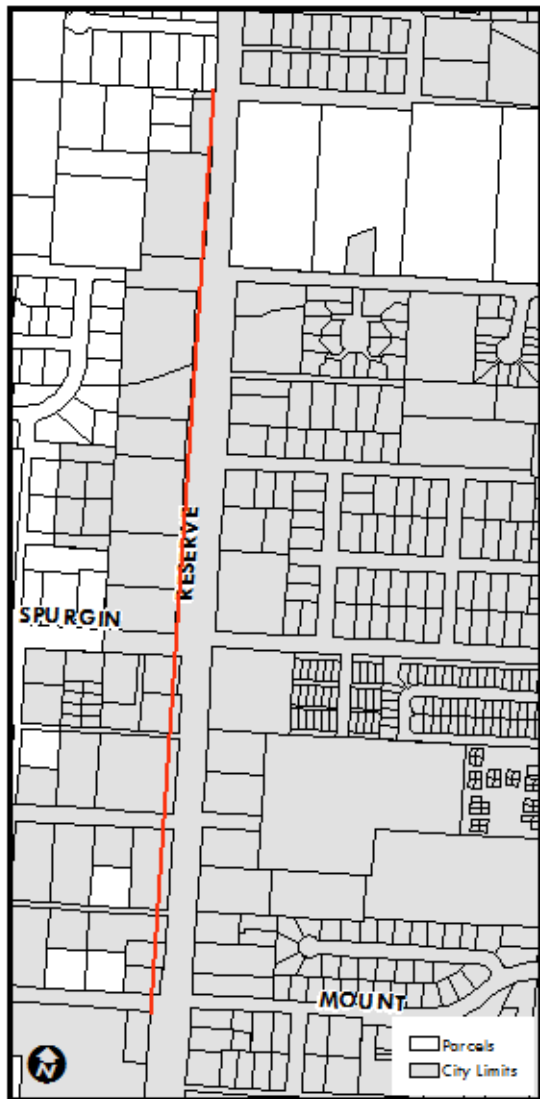


	Primary Street	Secondary Street
GROUND FLOOR		
A Glazed area: commercial (min)	35%	25%
Glazed area: residential (min)	20%	20%
UPPER FLOOR		
B Glazed area (min)	20%	20%
C Blank wall width (max)	16'	16'
ENTRANCES		
D Street-facing entrance	Visible from the Corridor	n/a
E Distance between entries (max)	160'	160'

	Street-facing	Non-street-facing
MATERIAL COVERAGE		
A Natural material (min)	10%	n/a
B Synthetic Stucco: ground floor (max)	75%	n/a
C Synthetic Stucco: upper floor (max)	85%	n/a
MASS VARIATION		
Building width: 50'-200'	n/a	n/a
Building width: 200' +	Required	n/a
FACADE ARTICULATION		
Building width: 50'-200'	Required	n/a
Building width: 200' +	Required	n/a

5. Special Setback

In Corridor Typology 4, due to irregular right-way, the setback along the west side of Reserve Street generally from Mount Street and South 5th Street West, as more specifically depicted on the map below, will be measured from the back edge of a 30-foot "no build" line that begins at the back of the existing curb and approximates the right-of-way line for the blocks to the north and south of the designated area.



20.85.080 - Design Review

A. Intent

The design review procedure of this section is intended to provide a transparent, public review process for consideration of alternative compliance plans when an applicant proposes deviations from otherwise applicable development standards, as well as offer a heightened level of scrutiny for some of the plans submitted within the Design Excellence Overlay.

B. Applicability

The design review procedure of this section applies only when expressly authorized or required under this zoning ordinance.

C. Authority to File

Applications for design review approval may be initiated only by the owner of the subject property or by the owner's authorized agent. Design Excellence Overlay plans may be sent to the Design Review Board for review based on the criteria in 20.25.80B.4.g. The Design Review Board also hears the appeal of the Zoning Officer decision on following Design Excellence Review.

D. Application Filing

1. Complete applications for design review approval must be filed with appropriate personnel in Development Services.
2. At least 40 days before the required public hearing the applicant must submit an intake form.
3. At least 30 days before the required public hearing the applicant must provide the following to the zoning officer:
 - a. Legal description of the subject property;
 - b. Ownership and mailing address of all owners of the subject property; and
 - c. All submittal materials required by the zoning officer for the review, which may include elevation drawings or photographs of existing and proposed buildings, site plans including landscaping, and other materials that will help the Design Review Board conduct a competent review and support the required decision and findings of fact.

E. Notice of Hearing

1. Newspaper Notice

At least two separate notices of required public hearings must be published in the newspaper. The first notice must be published at least 15 days before the date of the public hearing. (See 20.85.020.D.3 for additional information on public hearing notices.)

2. Mailed Notice

Notice of required public hearings on must be mailed to the subject property

owner and all owners of property within 150 feet of the subject parcel at least 15 days before the scheduled hearing. Notification must also be mailed to the neighborhood council representative for the subject neighborhood at least 15 days before the scheduled hearing. (See 20.85.020.D.3 for additional information on public hearing notices.)

3. Posted Notice

Notice of required public hearings must be posted at least 15 days before the public hearing. (See 20.85.020.D.3 for additional information on public hearing notices.)

F. Review and Report—Zoning Officer

The zoning officer must prepare a report and recommendation that evaluates the proposal in light of the review criteria of 20.85.080.H.

Commentary: Written testimony (from the public) must be received by the zoning officer at least seven business days before the public hearing to be included in the written staff report to the Design Review Board. Written testimony received by the zoning officer after this time but before the meeting will be hand delivered by the zoning officer to the Design Review Board at the time of the hearing.

G. Hearing and Final Action—Design Review Board

1. The Design Review Board must hold at least one public hearing on each application.
2. Following the close of the hearing, at the same or subsequent meeting, the Design Review Board must take action to approve, approve with modifications or conditions or deny the application based on the review criteria of 20.85.080.H. The Design Review Board's decision must be supported by written findings of fact.

H. Review Criteria

1. Design review applications may be approved by the Design Review Board only when they determine that the review criteria listed below, as applicable, have been satisfied. All of the applicable review criteria, listed below, must be addressed in the Design Review Board's findings of fact in support of their decision.
 - a. That new buildings and structures are located to create a positive relationship with their environment, both urban and natural;
 - b. That the site design properly addresses building orientation, open space, light, sun exposure, views and protection of natural features;
 - c. That buildings, structures and uses are compatible with adjacent properties and uses in terms of physical design elements such as volume and mass management, building materials, color, open space design, screening, and any other design elements considered important by the Design Review Board;

- d. That the overall project will be attractive, functional and safe in terms of pedestrian, bicycle and vehicular access, parking, loading, and servicing;

Commentary: Not all review criteria will apply in every case. Only the applicable review criteria need to be met.

2. Alternative compliance plans proposing deviations from otherwise applicable development standards may be approved by the Design Review Board only when they determine that the proposed plan will result in a development project that:
 - a. Does as good or better job of meeting the overall intent of the subject regulations and the zoning ordinance as a whole than would strict compliance with the standard from which relief is sought; and
 - b. Will result in a project design that is as good as or better than would strict compliance with the standard from which relief is sought.
3. Within the Design Excellence Overlay, the design guidelines of the Design Excellence Manual must be applied as the applicable review criteria.

Commentary: Not all design guidelines will apply in every case. Only the applicable design guidelines need to be met.

I. Lapse of Approval

1. An approved design review plan will lapse and have no further effect two years after it is granted by the Design Review Board, unless:
 - a. A building permit has been issued; or
 - b. A zoning compliance permit has been issued.
2. The zoning officer may extend the expiration period by up to one year if it is determined that there are unusual circumstances warranting the extension. Requests for extensions must be submitted to the zoning officer before the design review approval expires.
3. Design review approval also lapses upon revocation of a building permit for violations of conditions of approval or upon expiration of a building permit.

J. Transferability

The status of design review approval is not affected by changes of tenancy, ownership or management.

K. Amendments

A request for changes in conditions of approval of an approved plan must be processed as a new design review application, including the requirements for fees, notices and hearings.

L. Appeals

Any person aggrieved by a decision of the Design Review Board may appeal the Design

Review Board's decision to the City Council. In the case of such appeal, the City Council may act on the appeal as a new matter (de novo) and, by simple majority vote, approve, approve with conditions or deny the design review application. The requirements for notices, hearings and approval criteria are the same as required of the original action before the Design Review Board, although upon appeal the hearing is held by the City Council rather than the Design Review Board. Appeals must be filed within 30 days of final action by Design Review Board.

20.90.020 - Design Review Board

A. Purpose

The purpose of the Design Review Board (DRB) is to promote high quality building design and site planning that enhances the character of the city. The Board reviews proposed development projects for consistency with adopted design standards and guidelines and alternative compliance plans in accordance with 20.85.080.A.

B. Authority

1. General

- a. A Design Review Board is established to promote the health, safety and general welfare of the city. The Design Review Board is responsible for reviewing projects assigned to it by the City Council via the City Council's ordinances, resolutions and motions.
- b. The Design Review Board, consistent with all City Council resolutions, motions and City Council-approved review criteria, may deny or approve, in whole or in part, or may modify and set conditions for approval, or provide advice and counsel, for any request pursuant to this chapter.

2. Specific

The Design Review Board has specific authority and responsibility for furthering the stated purposes of zoning ordinances that the City Council may adopt that provide for design review. Those areas of critical development that positively affect surrounding properties and should be reviewed by the Design Review Board include:

- a. Exceptions from /NC-B Overlay district standards;
- b. Phases of planned unit developments, as required by the City Council;
- c. Signage requests, as provided by 20.75.100; and
- d. Design review approval, as required by 20.85.080.

C. Membership

1. The Design Review Board must consist of seven (7) regular members and one alternate member, all of whom reside in the city, who shall represent the following four categories:
 - a. At least two members shall be from these design and planning professions:
 - (1) Licensed architect
 - (2) Licensed landscape architect
 - (3) Urban planner
 - (4) Urban designer

- b. At least one member shall be from these construction and building fields:
 - (1) Licensed civil engineer
 - (2) Licensed contractor
 - (3) Builder/Developer
 - c. At least one member shall represent the profession of graphic design, signage or wayfinding.
 - d. No more than one member shall represent the community at large and not be from the above listed professions.
- 2. All individuals who seek appointment to the DRB should have a demonstrated interest in the design of the community and be motivated by a desire to serve fellow members of the community. Members of the board should be persons who, as a result of their training and experience, are qualified to analyze and interpret architectural and landscape drawings and site plans.
 - 3. The alternate member serves in the absence or vacancy of any regular board member.

D. Terms

Members of the Design Review Board serve terms to be set by the City Council, ranging from one to three years at the City Council's discretion. In setting terms, the City Council must attempt to stagger the expiration of board member terms to help ensure continuity.

E. Operation

- 1. The Design Review Board must establish a regular meeting schedule and make the schedule available to the general public.
- 2. Special meetings may be called by the chairperson or by an affirmative vote of at least four members.
- 3. The zoning officer is responsible for announcing meetings of the Design Review Board.
- 4. The Design Review Board must adopt its own rules and bylaws, consistent with its powers and duties under this zoning ordinance, the Municipal Code and state law. The zoning officer must file a copy of the bylaws in Development Services.
- 5. The zoning officer must keep a summary of all actions of the Design Review Board in the form of minutes or reports on the Design Review Board's decisions.
- 6. No member of the Design Review Board may vote on any project in which they or any partner has worked or has any financial, personal, or other direct interest.

F. Voting

A quorum of the Design Review Board requires the presence of at least four members.

Unless otherwise expressly stated, action by the Design Review Board requires a simple majority vote of Design Review Board members present and voting.

G. Staff Support

The Design Review Board is served primarily by the zoning officer, who acts as staff to the Design Review Board. It is the duty of other city departments to render such assistance as may be reasonably required or requested by the Design Review Board. See also 20.90.050 for a description of the zoning officer's powers and duties.

H. Appeals of Design Review Board Decisions

Any person aggrieved by a decision of the Design Review Board may appeal the Design Review Board's decision to the City Council. See 20.85.080.M for process.

Effective date. The provisions of this ordinance shall be effective in 30 days after adoption.

Severability. If any selection, subsection, sentence, clause, phrase or word of this ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance. The council hereby declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase and words thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or words have been declared invalid or unconstitutional, then the remaining ordinance provisions will be in full force and effect.

PASSED by a vote of:

First reading and preliminary adoption: 9 Ayes, Stacie M. Anderson, Julie Armstrong, Michelle Cares, John DiBari, Heather Harp, Jordan Hess, Gwen Jones, Bryan von Lossberg, Heidi West; 0 Nays; 0 Abstentions; 3 Absent, Mirtha Becerra, Julie Merritt, Jesse L. Ramos

Second and final reading: 10 Ayes, Stacie M. Anderson, Julie Armstrong, Mirtha Becerra, John DiBari, Heather Harp, Jordan Hess, Gwen Jones, Julie Merritt, Bryan von Lossberg, Heidi West; 2 Nays: Michelle Cares, Jesse L. Ramos; 0 Abstentions; 0 Absent

APPROVED by the Mayor this 17th day of December, 2018.

ATTEST:

APPROVED:

/s/ Martha L. Rehbein

Martha L. Rehbein
City Clerk

/s/ John Engen

John Engen
Mayor

(SEAL)